



Planning Commission **STAFF REPORT**

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Gina Frierman-Hunt, Vice-Chair
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Manish Desai, Commissioner
Leslee Hinton, Commissioner
John Hutt, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director –
Planning & Community Preservation*

DATE: April 7, 2016

TO: Planning Commission

FROM: Leticia Cardoso, Planning Manager

SUBJECT: Conditional Use Permit 15-26 (CUP 15-26) to allow construction of a 2,895-square-foot, two-story single family residence on the property located at 86 N. Lima Street

Executive Summary

The applicant, German Cortez, is requesting that the Planning Commission consider a Conditional Use Permit (CUP) to allow construction of a 2,895-square-foot, two-story single-family residence on the property located at 86 N. Lima Street. Pursuant to SMMC Section 17.20.025.B, any new construction proposed to include a second story requires approval of a conditional use permit. Also, pursuant to SMMC Section 17.60.030.G, all development in the R-3 Zone requires approval of a conditional use permit.

Staff recommends that the Planning Commission introduce the item, allow public testimony, and continues CUP 15-26 to allow the applicant to address the second story massing of the residence before returning to the Commission for consideration.

BACKGROUND

The subject property is an 8,631-square-foot rectangular lot located in the R-3 Zone (Multiple Family Residential) with a General Plan Land Use Designation of RH (Residential Medium/High Density). The adjacent properties to the north, east, west and south are also zoned R-3. The properties to the west are developed with single- and

multi-family uses, single-family to the south, and multi-family to the east and north; with the exception of the multi-family properties on the north, all are one-story structures.

The existing 1,336-square-foot single-story residence, including a 200-square-foot garage, was built in 1947, and there is also a 110-square-foot shed on the property. Pursuant to Code Section 17.28.030.D, single-family development in the R-3 Zone is subject to the requirements of the R-1 Zoning Ordinance.

PROPOSED PROJECT

The project involves the demolition of all existing structures on the lot and construction of a 2,895-square-foot, two-story single-family residence; since the existing residence was built less than 75 years ago, a ministerial, rather than a discretionary demolition permit, will be required.

The proposed residence includes four bedrooms, family room, living room, dining room, kitchen, four bathrooms, a powder room, and an attached 443-square-foot two-car garage.

The residence is designed in the Prairie architectural style. The proposed project includes stone veneer along the first story façade, a recessed second story with stucco finish, and charcoal slate tile roofing; the design and materials are consistent throughout the entire structure.

Regarding the design, staff is concerned with the second story mass of the residence and its imposing effect over the adjacent residences on the south, which are not only single-story, but are located on a lower elevation due to the north-south sloping topography in Sierra Madre. Although the applicant set the residence further back on the property, staff is still concerned with impacts to privacy and views to the adjacent properties from the second story that may be exacerbated by the difference in grade between properties.

In terms of compatibility with surrounding development, the residence as proposed does not appear to provide a gradual transition from the two-story apartment building on the north to the one-single story single-family residences on the south. The applicant may want to consider relocating one or two bedrooms to the ground level which could be accommodated by reducing the proposed front and rear yard setbacks. The reduction of the second story mass would help reduce privacy and view impacts to the adjacent residence while providing a more gradual transition from the larger mass of the adjacent multi-family building to the existing one-story structures on the south. A reduced front yard setback would also make it more consistent with the front yard setbacks of the neighboring multi-family properties.

Landscaping, Hardscaping and Protected Trees

The applicant is proposing to landscape the site with new shrubs, flowering annuals, African irises, turf areas in the front and rear yards, and a 36-inch box tree in the front yard along the south property line. Hardscape will include a small concrete area in the rear yard, and concrete pavers set in gravel or small smooth river rock along the sides of the residence. The proposed project will be subject to the Water Efficient Landscape Ordinance requirements as the proposed landscaped area is above the minimum 500 square foot threshold of landscaped area of the ordinance for new residential projects by individual homeowners; a condition of approval has been included in the attached Resolution to this effect.

The applicant is proposing to use concrete pavers on the driveway and along the walkway for a total of 557 square feet, or 38 percent of the front yard area. Pursuant to Code Section 17.20.121, a minimum of 50 percent of the front yard area shall be landscaped, excluding areas such as driveways, walkways, landings, porches, patios and similar areas.

There are no protected trees on the property, and the existing lemon tree will remain. The applicant will be required to thin out the street trees along the parkway as a condition of approval of the project.

The site plan and conceptual landscaping are included herein for reference as Exhibit A; 3-D simulations are included herein as Exhibit B. The applicant has provided several exhibits, included herein as Exhibits C, D, and E, showing a floor area and floor area/lot area ratio comparisons of the surrounding properties, an outline of the street elevations of the existing buildings and proposed residence, and a front yard setback/footprint comparison with the building on the adjacent lots.



86 North Lima Street outlined in red

PROJECT SUMMARY

| Category | Existing | Proposed | Code Requirement / Allowed | Meets Code |
|---------------------------|--|---|--|-----------------|
| Lot size | 8,631 sq. ft. (approx. 150' deep X 57.5' wide) | No Change | 12,600 sq.ft. (minimum) | No ¹ |
| Lot Coverage | 15% | 22% | Not to exceed 40% of lot area. | Yes |
| Building Height | Approx. 13 feet | Approx. 22 feet 2 inches | 25 feet (measured at 1/3 of the roof pitch) | Yes |
| Gross Floor Area | 1,336 sq. ft. residence (including a 200 sq.ft. attached garage) and 110 sq.ft. shed | 2,895 sq. ft. (including a 443 sq.ft. attached garage) | 2,907 sq.ft. | Yes |
| Building Setbacks: | | | | |
| <u>Front</u> | 70 feet | 45 feet | 25 feet | Yes |
| <u>Sides:</u> | | | | |
| North | 3 feet | 5 feet 7 inches | 5 | Yes |
| South | 5 feet | 7 feet 6 inches to 9 feet 2 inches | 5 feet | Yes |
| <u>Rear</u> | 40 feet | 59 feet 10 inches | 15 feet | Yes |
| Parking | 1-car garage | 2-car garage (443 sq.ft.) | 2 spaces per dwelling unit in a garage or carport for dwelling units with maximum of four bedrooms | Yes |

¹ The R-3 zoned lot is existing non-conforming. However, the applicant is not proposing any changes to the lot size as part of this application.

ANALYSIS/ FINDINGS

The granting of a CUP is subject to the following findings pursuant to Code Section 17.60.040:

A. That the site for the proposed use is adequate in size, shape, topography, and location; in that the project site is rectangular in shape and is of adequate width and length to accommodate the proposed residence while providing all required setbacks. The topography of the lot is predominantly flat therefore requiring only minimal grading for the proposed residence. The site is located in the R-3 Zone, which allows single-family residential development pursuant to R-1 Zone standards, and the site size, shape, topography are adequate in meeting all zoning requirements including setbacks, allowable gross floor area, angle plane requirement, and maximum allowable height. The location of the property is adequate for a single-family residence in that it is surrounded by other residential uses, and in fact it is currently developed with a single-family residence.

B. That the site has sufficient access to streets which are adequate, in width and pavement type, to carry the quantity and quality of traffic generated by the proposed use; in that Lima Street is approximately 60 feet wide which is a standard width for residential areas. The proposed project involves demolition of the existing single-family residence and replacement with a new single-family residence, therefore the use will remain the same will not result in more traffic than as currently generated.

C. That the proposed use is neither detrimental to the public health, safety and general welfare, nor will unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties; in that it meets zoning development standards of height, yard setbacks, floor area, lot coverage, and parking.

However, staff finds it difficult to make this finding as it relates to interference with the enjoyment of adjacent properties with respect to privacy and views. Pursuant to Code Section 17.20.010.E.1, 17.20.010.F and 17.20.010.G, residential development in the R-1 Zone should promote consideration of one another's mountain views, neighbor's existing views, privacy, and appropriate scale of new construction that is compatible with the existing neighborhood and surroundings.

Staff is concerned with impacts to privacy and views from the second story of the proposed residence onto the adjacent properties on the south, which are not only

single-story, but are located on a lower elevation which exacerbates the height differences between the two structures.

In terms of compatibility of scale with surrounding development, the residence as proposed does not appear to provide a gradual transition from the two-story apartment building on the north to the one-single story single-family residences on the south. The applicant may want to consider expanding the footprint of the ground floor in order to transfer some of the mass on the second story to provide a better transition from the two-story mass of the adjacent apartment building to the one-story, smaller scale residences on the south. This would also reduce privacy and view impacts to the adjacent residences.

D. That there is a demonstrated need for the use requested; in that the proposed use is single-family residential as is the current use. The existing residence is an older structure in need of repair and the applicant wishes to increase the value and usability of the property by replacing it with a residence that provides modern features and amenities, including a 2-car garage which is required by code.

E. That the proposed use is consistent with the general plan, zoning and any applicable design standards; in that the proposed use as a single family residence is consistent with the site's current use as well as the R-1 Zone standards as required in the R-3 Zoning Ordinance.

However, staff finds it difficult to make this finding with respect to Objective L24 of the General Plan Residential – Medium/High Density land use designation which requires developments that are compatible in scale with existing development. The residence as proposed does not appear to provide a gradual transition from the two-story apartment building on the north to the one-single story single-family residences on the south. The applicant may want to consider expanding the footprint of the ground floor in order to transfer some of the mass on the second story to provide a better transition from the two-story mass of the adjacent apartment building to the one-story, smaller scale residences on the south.

F. That the use at the location requested would benefit the public interest and convenience; in that single-family residential properties serve the needs of the City when such projects are consistent with the General Plan and development guidelines. The proposed project would continue to be used for single-family residential purposes in the R-3 Multiple Family Residential Zone which allows single-family residential uses.

Additional burden of proof for permits for certain noted projects pursuant to Code Section 17.20.041.

Before a conditional use permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

A. That the height, bulk, scale, mass and siting of the proposed project be compatible with the existing neighborhood, landforms and surroundings.

Staff finds it difficult to make this finding with regard to compatibility of the two-story residence with the adjacent one-story homes located downslope from the subject property. Staff is concerned that the bulk and mass of the second story could impact the privacy and views of the existing residences, and that it does not provide a gradual transition from the two-story multi-family building on the north to the one-story character of the surrounding properties. Furthermore, the siting of the proposed residence is not consistent with the front yard setbacks along the same side of the street.

B. That the proposed project reflects the scale of the neighborhood in which it is proposed and that it does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from the foothill village setting.

Staff also finds it difficult to make this finding given that the design of the proposed residence seems to replicate the two-story mass of the adjacent apartment building on the north without providing a more gradual transition between that structure and the one-story neighboring residences. While the neighborhood includes a few two-story apartment buildings, the bulk and mass of the proposed residence seems to reflect and promote the multi-family scale rather than the more prevalent single-family residential character of the neighborhood, thereby detracting rather than contributing to the foothill village setting of Sierra Madre.

C. That the proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts.

As stated in Finding A above, staff is concerned that the proposed residence as designed would interfere with the views of the mountains and privacy of the adjacent neighbors due to the bulk and mass of the second story.

D. That the proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible.

The proposed residence is consistently designed in the Prairie Style architectural style throughout all elevations, and includes the use of flatter roof lines, broad eaves, and windows assembled in horizontal bands on the second story.

- E. For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height pursuant to Section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible.**

This finding is not applicable as the applicant is not seeking relief from development standards.

- F. For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B), or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, of:**

- 1. Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, generic, or “cookie-cutter” plans;**
- 2. Where applicable, adaptive reuse or other preservation and restoration of historic structures;**
- 3. Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected and specimen trees;**
- 4. Siting of structures in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;**
- 5. High quality architectural details and building materials compatible with the overall project design; and**
- 6. Sustainable building and landscaping practices, especially water-saving features.**

This finding is not applicable as the conditional use permit is not requested to exceed the thresholds established in Sections 17.20.025.C or 17.30.040.B.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies of this report are available at the City Hall public counter, the Sierra Madre Public Library, and on the City's website.

ENVIRONMENTAL

The proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 Existing Facilities (I)(1) of the California Environmental Quality Act (CEQA) as it involves the removal of a single-family residence. The project also qualifies for a Class 3 Categorical Exemption, pursuant to Section 15303(a) New Construction or Conversion of Small Structures of CEQA as it involves the construction of a new single-family residence.

ALTERNATIVES

The Planning Commission can:

1. Approve the application for Conditional Use Permit 15-26, and direct staff to draft a Resolution for the Commission's consideration at the next meeting.
2. Deny the application for Conditional Use Permit 15-26, and direct staff to draft a Resolution for the Commission's consideration at the next meeting, specifying those findings that cannot be made.
3. Continue the subject project, and provide the applicant with direction.

RECOMMENDATION

Staff recommends that the Planning Commission continues CUP 15-26 to allow the applicant to address design issues concerning bulk and mass of the residence before returning to the Commission for further consideration.

Prepared By:



Leticia Cardoso
Planning Manager

Attachments:

1. Exhibit A: Site Plan
2. Exhibit B: 3-D Simulations
3. Exhibit C: Neighborhood Floor Area Comparison

4. Exhibit D: Street Elevation
5. Exhibit E: Front Yard Setback Comparison
6. Exhibit F: Project Application
7. Exhibit G: Site Photos
8. Exhibit H: Vicinity Map

EXHIBIT A

Site Plan

NEW DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024
APN # 5768-010-037

RECEIVED

MAR 30 2016

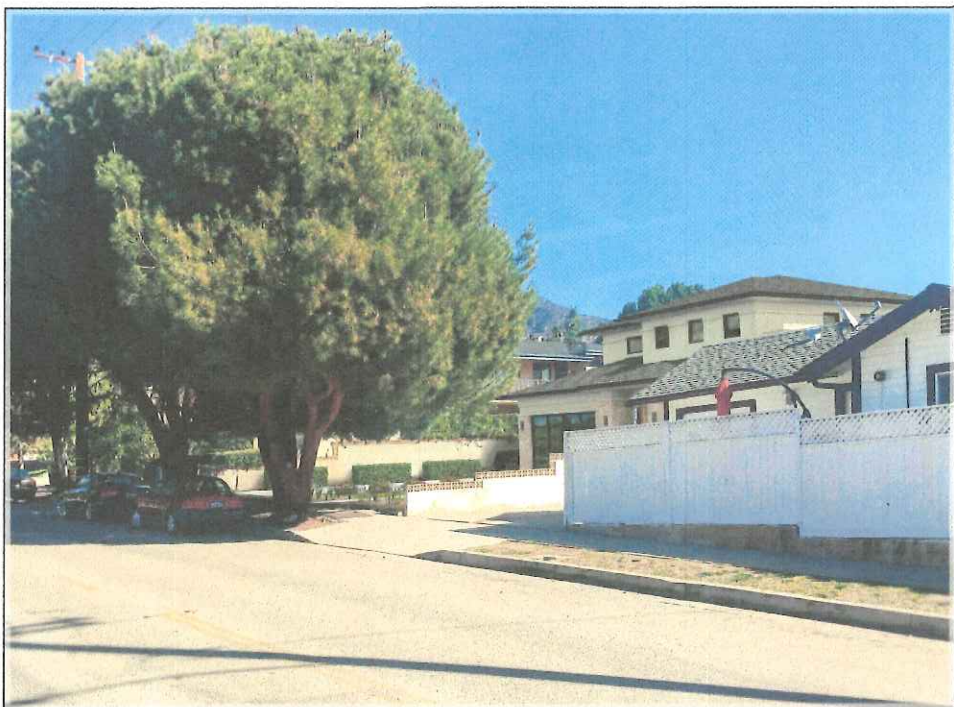
**CITY OF SIERRA MADRE
PLANNING & BUILDING**



C.B. HOME DESIGN INC.
1168 SAN GABRIEL BLVD
SUITE P
ROSEMEAD, CA 91770
PHONE: (626) 279-5657
EMAIL: CBHOMES26@GMAIL.COM

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

VIEW FROM LIMA & MONTECITO AVE (PROPOSED)



FRONT VIEW (PROPOSED)



OWNER INFO:

CYNTHIA LJ
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

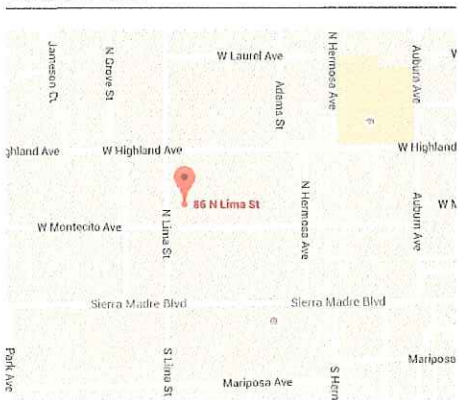
VIEW FROM LIMA & MONTECITO AVE (EXISTING)



FRONT VIEW (EXISTING)



VICINITY MAP



SCOPE OF WORK

- DEMOLISH EXISTING SINGLE FAMILY DWELLING, BUILT 1947
- CONSTRUCT A 2 STORY SINGLE FAMILY DWELLING, ATTACHED 2- CAR GARAGE
- TOTAL OF 4 BEDROOMS AND 4 1/2 BATHS

SHEET INDEX

- C-1 COVER SHEET
- T-1 SITE PLAN
- A-1 PROPOSED 1ST. FLOOR PLAN
- A-2 PROPOSED 2ND. FLOOR PLAN
- A-3 ELEVATIONS
- A-4 COLOR ELEVATIONS

JOB NUMBER:
CB15086

DRAWN BY:
GC/JC/AO

3/32" = 1'-0"

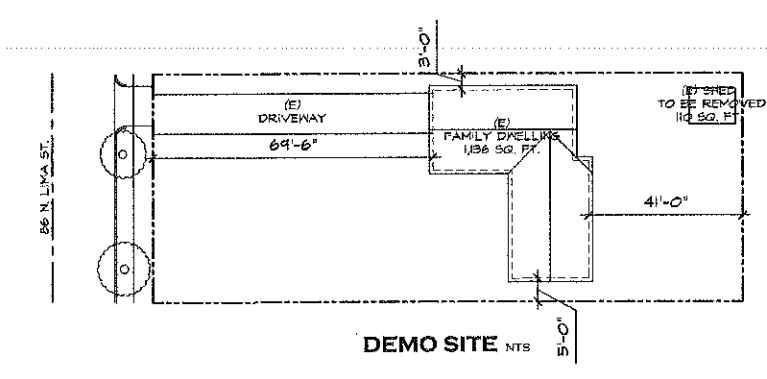
REVISIONS:

SHEET TITLE:
SITE PLAN

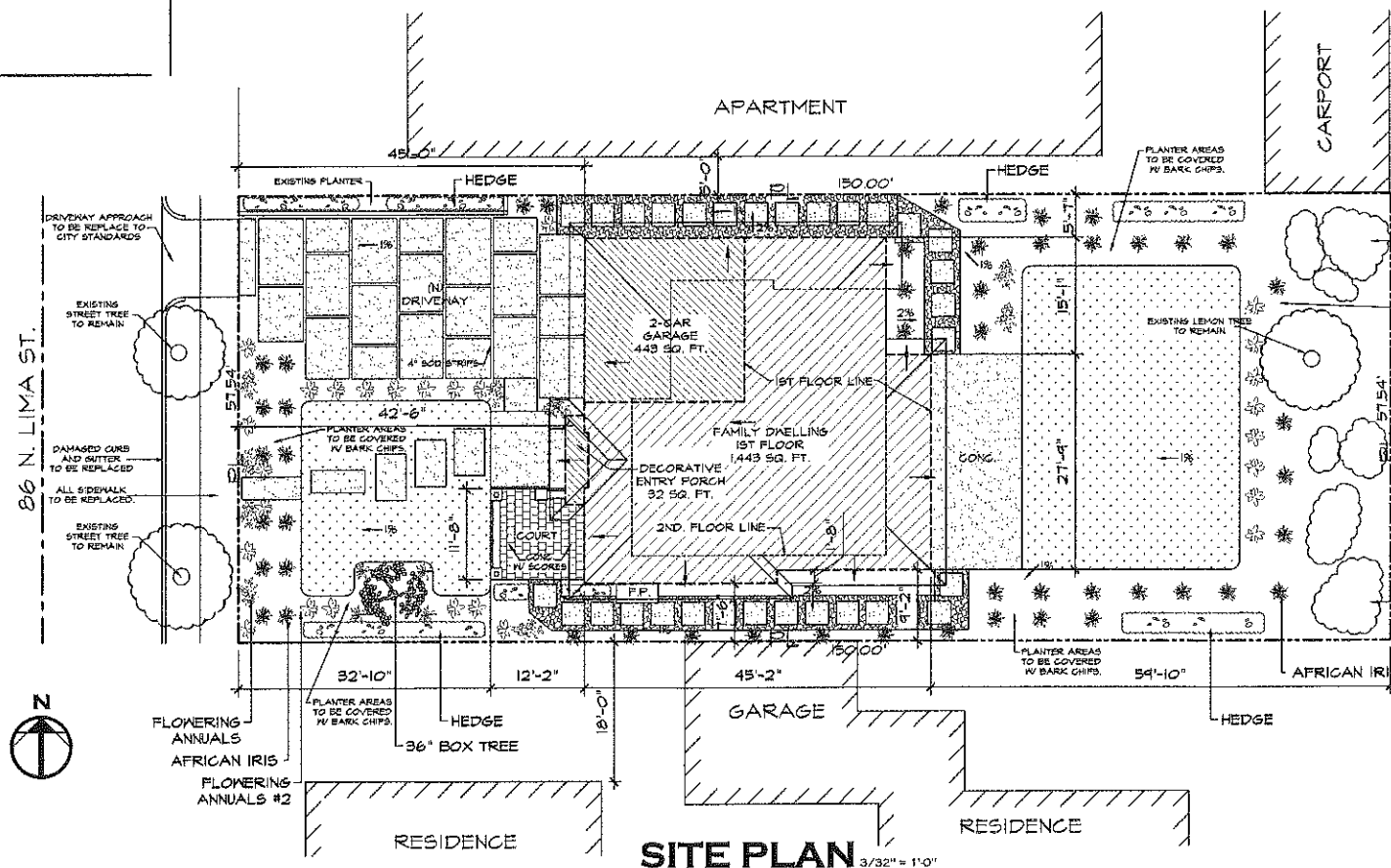
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C-1

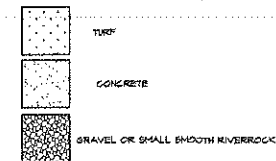
1 OF 1



| | |
|--|---------------|
| FRONT YARD LANDSCAPE #25 | |
| FRONT YARD | 1,435 SQ. FT. |
| FRONT YARD CONC. | 357 SQ. FT. |
| STREET TREES | |
| PARKWAY TREES SHALL BE RAISED TO MEET CITY MUNICIPAL CODE STANDARDS, GROWING THINER PER INTERNATIONAL ARBORICULTURE STANDARDS, AND TREES OTHERWISE PROTECTED IN PLACE. | |
| L.I.D. | |
| L.I.D. DRAINAGE STANDARDS, A DRAINAGE PLAN TO BE PREPARED BY CIVIL ENGINEER IS REQUIRED. | |

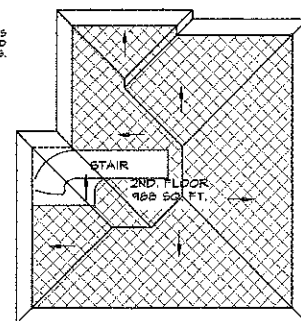
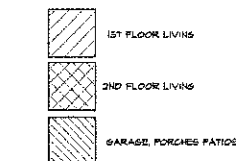
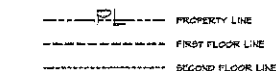


LANDSCAPE LEGEND



* ALL LANDSCAPE PLANTING AREAS TO BE TOPPED WITH

SITE LEGEND



2ND FLOOR 3/32" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
2. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
3. ALL PLAN DIMENSIONS ARE FROM CENTER LINE OF STVD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.
4. ANY CHANGES PRIOR TO APPROVED SET OF PLANS, C.B. HOME DESIGN MUST BE NOTIFIED. CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY C.B. HOME DESIGN IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. C.B. HOME DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PERFORMANCE OF THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
8. SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS INCLUDING BUT NOT LIMITED TO:
 1. METAL DOOR AND WALL CONNECTION
 2. CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILING.
 3. JUNCTION OF MILLWORK (CABINETS, SHELVES, BOOTHS).
 4. STAINLESS STEEL TO WALLS
9. DO NOT CAULK ANY OTHER AREAS, ESPECIALLY AT GREYWOOD
10. CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS. UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE, AND DEBRIS.
11. DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAY WITHOUT FIRST OBTAINING PROPER PERMITS.
12. ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOKS, I.E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKERS AND OCCUPANTS AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM TO 6:00 PM MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.
15. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE ANY INSTALLATION.
16. MINIMUM PLANE SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
17. PROJECT SHALL CONFORM TO THE:
 - 2015 CBC
 - 2015 CMC
 - 2015 CFC
 - 2015 CEC
 - 2015 T-24
18. ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED.

BUILDING CODE REQUIREMENTS

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOD-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-NEITHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT IS REQUIRED)
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3).
4. KITCHEN SINKS, LAVATORIES, BATHROOMS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R308.4)
5. BATHROOM AND SHOWER FLOORS, WALLS ABOVE BATHROOMS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. PROVIDE TO INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308)
8. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATINGS (RESEARCH REPORT NOT REQUIRED). (R308.5.4)
9. WATER HEATER MUST BE STRAPPED TO WALL.
10. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR.
11. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME IS REQUIRED FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER THE ASSEMBLY BILL (AB) NO. 2471.
12. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325.
13. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
14. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R309.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
15. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R309.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 80 INCHES ABOVE THE FLOOR LEVEL. (R309.3)
16. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
17. IN COMBUSTIBLE CONSTRUCTION FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
18. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.
19. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.
20. ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 18" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LAND SHALL BE NOT MORE THAN 1.15' BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.
21. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 90 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
22. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHROOMS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

ABBREVIATIONS

| | | | |
|------|--------------------|--------|--------------|
| AC | ASPHALTIC CONCRETE | GBV | GALVANIZED |
| CLG | CEILING | GYP BD | GYP/SH BOARD |
| CLR | CLEAR | HORIE | HORIZONTAL |
| CONC | CONCRETE | HT | HEIGHT |
| CONT | CONTINUOUS | JST | JOISTS |
| DIA | DIA | MAX | MAXIMUM |
| DIM | DIMENSION | MIN | MINIMUM |
| DWG | DRAWING | NO | NUMBER |
| EA | EACH | ON | ON CENTER |
| EL | ELEVATION | REQD | REQUIRED |
| EQ | EQUAL | SIM | SIMILAR |
| EW | EACH WAY | SQ | SQUARE |
| EX | EXISTING | THK | THICK |
| FF | FINISH FLOOR | TP | TOP PLATE |
| FG | FINISH GRADE | TYP | TYPICAL |
| FL | FLOOR | WTH | WITH |
| FT | FOOT, FEET | WH | WATER HEATER |

CONSULTANTS

TABULATIONS

OCCUPANCY GROUP: R-1 (R-3)
CONSTRUCTION TYPE: V-B
LOT: 8.81 SQ. FT.
1ST FLOOR PLAN: 1,443 SQ. FT.
HIGH CEILING: 10' 0" + 3' 0" = 13' 0"
2ND FLOOR PLAN: 1,988 SQ. FT.
LOT COVERAGE: 1,115/8,811 = 12% LOT COVERAGE
GARAGE: 443 SQ. FT.
DECORATIVE ENTRY PORCH: 32 SQ. FT.
ALLOWABLE GROSS FLOOR AREA: 2,401 SQ. FT.
PROPOSED GROSS FLOOR AREA: 2,843 SQ. FT.
PROPOSED LIVING SPACE: 2,431 SQ. FT.
BUILDING HEIGHT: 2 STORY
USE: SINGLE FAMILY DWELLING
LEGAL INFO: SPALDING AND PINNEY'S SUB N 25 S4
FT OF LOT 2 AND S 32 FT OF LOT 3 BLK 5
EXISTING STRUCTURES TO BE DEMOLISHED
EXISTING RESIDENCE: 1,366 SQ. FT. TO BE DEMO
SHED / OTHER STRUCTURES: 110 SQ. FT.

SCOPE OF WORK

- DEMOLISH EXISTING SINGLE FAMILY DWELLING, BUILT 1947
- CONSTRUCT A 2 STORY SINGLE FAMILY DWELLING, ATTACHED 2-CAR GARAGE
- TOTAL OF 4 BEDROOMS AND 4 1/2 BATHS

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

SHEET TITLE:
SITE PLAN

SHEET NO:

T-1

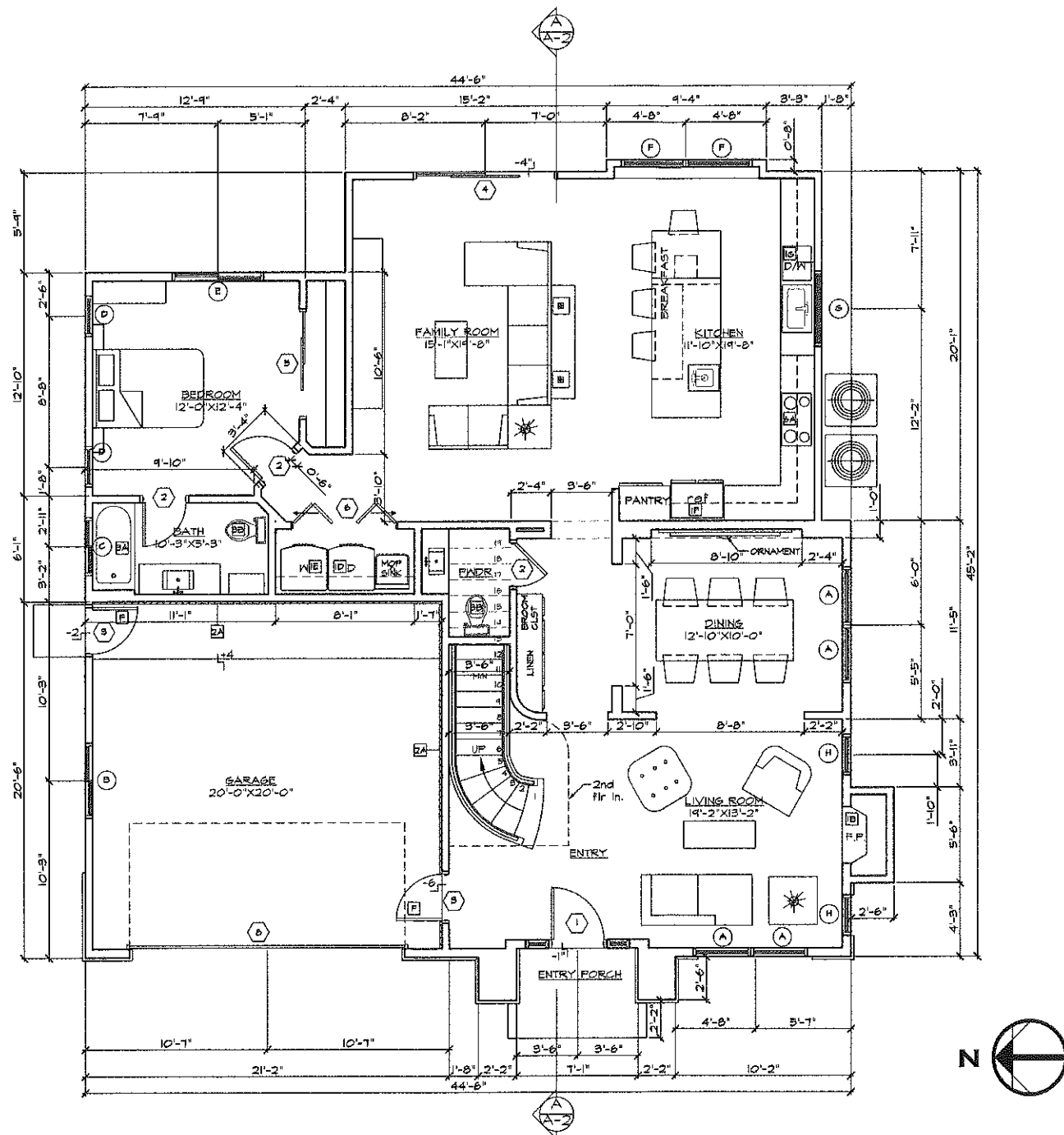
1 OF 1

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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024



PROPOSED 1ST. FLOOR PLAN

1/4" = 1'-0"

DOOR SCHEDULE

| SYM. | QTY. | SIZE | THK. | TYPE | MATERIAL | REMARKS |
|------|------|----------------|--------|---------------------------------|-------------|--------------------------------------|
| 1 | 1 | 8'-0" X 8'-0" | 1 3/4" | S.S.D. IV. SIDE LITES & TRANSOM | WOOD | (2) 1'-0" SIDE LITES 1'-0" TRANSOM |
| 2 | 8 | 2'-6" X 8'-0" | 1 3/8" | SHING. H.C.D. | WOOD | |
| 3 | 1 | 2'-8" X 8'-0" | 1 3/4" | SHING. S.C.D. | WOOD | SELF CLOSE, SELF LATCHING, TIGHT FIT |
| 4 | 1 | 8'-0" X 8'-0" | 1 3/4" | SLIDING DOOR | VINYL GLASS | |
| 5 | 1 | 8'-0" X 8'-0" | 1 3/8" | SLIDING DOOR | ALUM. | |
| 6 | 1 | 8'-0" X 8'-0" | 1 3/8" | BI-FOLD H.C.D. | WOOD | LOUVER VENTED TOP AND BOTTOM |
| 7 | 1 | 16'-0" X 8'-0" | 1 3/4" | SARAGE DOOR | ALUM. | GLAZED |

WINDOW SCHEDULE

| SYM. | QTY. | SIZE | TYPE | MATERIAL | U-FACT. | SHGC | REMARKS |
|------|------|---------------|----------|----------|---------|------|---------|
| A | 4 | 8'-0" X 6'-0" | FIXED | VINYL | 0.32 | 0.25 | |
| B | 1 | 4'-0" X 4'-0" | SLIDER | VINYL | 0.32 | 0.25 | |
| C | 1 | 8'-0" X 1'-6" | SLIDER | VINYL | 0.32 | 0.25 | |
| D | 2 | 2'-0" X 4'-6" | CASEMENT | VINYL | 0.32 | 0.25 | |
| E | 1 | 8'-0" X 8'-0" | SLIDER | VINYL | 0.32 | 0.25 | |
| F | 2 | 8'-6" X 4'-6" | CASEMENT | VINYL | 0.32 | 0.25 | |
| G | 1 | 4'-0" X 4'-6" | WING | VINYL | 0.32 | 0.25 | |
| H | 2 | 2'-0" X 8'-0" | CASEMENT | VINYL | 0.32 | 0.25 | |

LEGEND

| | |
|---|---|
| ○ WINDOW CALL OUT | ⌘ (N) 80"x80" ATTIC ACCESS (W) 80" MIN HEADROOM ABOVE |
| ○ DOOR CALL OUT | ⇒ 4" DIA. DRYER VENT |
| ⊙ SMOKE ALARMS TO BE HARD WIRED VIA BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL, INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. | ⚡ 3 WAY SWITCH |
| ⊕ CEILING MOUNTED LIGHT | ⌘ EXHAUST FAN W/ HAND GRAB CONTROL, CAPABLE OF PROVIDING 50 CFM EXTERIOR TO TERMINATE TO THE OUTSIDE OF BUILDING, ENERGY STAR COMPLIANT |
| ⊕ WALL MOUNTED LIGHT | ⌘ 200 AMP ELECTRICAL PANEL |
| ⚡ POLE SWITCH | ⚡ DINNIE SWITCH |
| ⌘ CEILING MOUNTED RECESSED LIGHT | ⌘ CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DRELLING UNITS AND SLEEPING UNITS WITHIN EACH FUEL BURNING APPLIANCE ARE INSTALLED AND IN DRELLING THAT HAVE ATTACHED GARAGES. |
| F FLUORESCENT | ⌘ OUTLET 110 VOLTS (TEMPERED RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, DINING ROOMS, LIVING ROOMS, LIBRARY, BATHROOMS AND RECREATION ROOMS) |
| H.E. HIGH EFFICACY | |
| P.C. PHOTOCELL | |
| ⌘ TEMPERED SAFETY GLAZING | |
| ⌘ KITCHEN KNEES EMERGENCY EGRESS RECOMMENDED: 44" MAX. TO KILL, MIN. 24" CLR. HT., 20" CLR. WIDTH, 51" SQ. FT. MIN. NET CLEAR OPENING. | |

WALL SCHEDULE

| | |
|------------------|--|
| NEW 2X STUD MALL | 1 HOUR RATED MALL 5/8" GYP. BOARD TYPE "X" FLOOR TO ROOF |
|------------------|--|

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE L.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS UNDO.
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
 - 51 SQ. FT. OF CLEAR OPENABLE AREA (S.D. AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24" MIN.
 - NET OPENING WIDTH SHALL BE 20" MIN.
 - FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR.
- 1-3/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- TANKLESS WATER HEATER PER T-24 REPORT.
 - MODEL: EUBEN RTG-800V
 - INDOOR DIRECT VENT
 - 110000 - 110000 BTU/H MAX.
 - 4.5 GAL./MIN. @ 55° F RISE MAX. 1.4 GAL./MIN. AT 45° F RISE MAX
- REGENCY BELLAVISTA ESSENCE MEDIUM GAS FIREPLACE - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 85° CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO).
- 85° CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. BHT. METAL SHITTY PAN.
- REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
- 24" WIDE DISHWASHER.
- ONE LAYER 5/8" TYPE "X" GYPSUM BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS (I.E. RATED CORE).
- PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION IN 8" TYP. 10" GYP. BO. AT SIDE AND TOP OF ENCLOSURE AREA UNDERNEATH STAIR.
- 80" X 80" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 24" WIDE UNOBSTRUCTED PASSAGE IN SOLID GYPSUM BOARD ATTIC ACCESS TO ATTIC. PROVIDE 80" CLR. IN FRONT OF THE DOOR, AND 80" CLR. HEAD ROOM. PROVIDE LIGHT AT DOOR, WITH SWITCH TO ATTIC ACCESS.
- 80" X 80" ENAMELED CAST IRON TUB / SHOWER COMBINATION SHOWER HEAD AT 10' A.P.F. PROVIDE SHOWER NOOD. RETAIL PER MANUFACTURE SPECIFICATIONS.
- WATER CLOSET. PROVIDE 80" MIN. CLR. (PROVIDE) FROM CENTER TO EACH SIDE, AND 24" CLR. SPACE IN FRONT. FLUSH VALVES FOR LOW-CORRUPTION AND WATER SAVING WATER CLOSURES SHALL BE PROVIDED WITH A MAX. 120 GALLONS OF WATER PER FLUSH (GFC 402.1.402.2)
- 45" X 72" ACETIC TUB OR EQUAL ON A RAISED HOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE 10". ENCLOSURES MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURE'S SPECIFICATIONS.
- 100-WATTED SHOWER PAN WITH HADSET CERAMIC TILE / NATURAL STONE FLOOR. FULL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 84" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE, 80" 6" CLEARANCE.
- PAV. LOCATION IN ATTIC PROVIDE A MIN. 80"x80" ACCESS, 24" WIDE WALKWAY AND 80" DEEP MORE PLATFORM. PROVIDE ELEC. LIGHT OUTLET A.D. TO PROVIDE SWITCH BY ATTIC ACCESS OPENING. AND CONFORMANCE PER T-24 REPORT.
- SHED SHALL HAVE A MIN. 14 SEER AND DUCT INSULATION OF R-6 - HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 68°F AT A POINT 5 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
- 24"x16" RETURN AIR REGISTER.
- RECESSED MEDICINE CABINET, 6" ABOVE CABINET.
- KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM.



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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:
CB15086

DRAWN BY:
GC/JC/AG

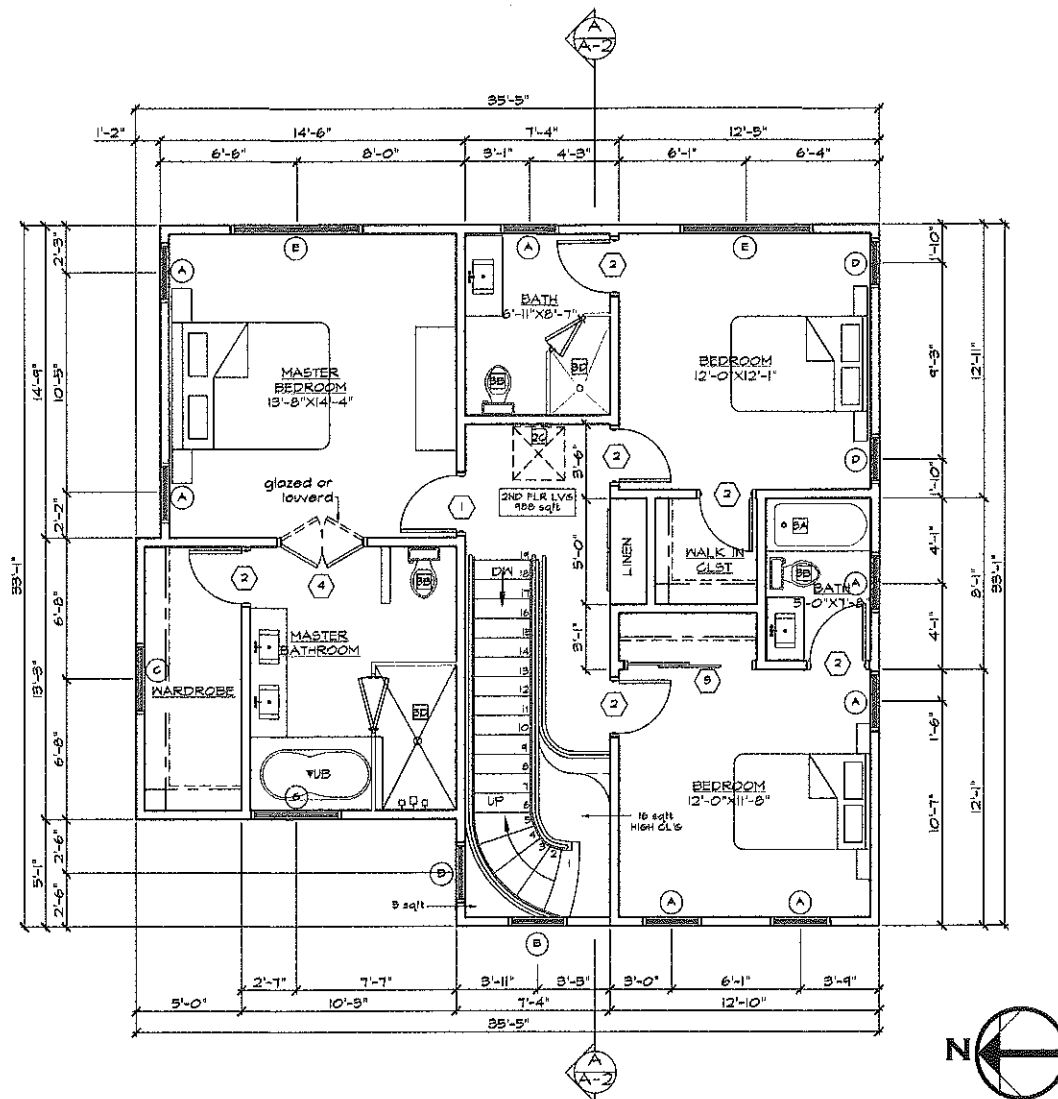
SCALE:
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
PROPOSED 1st.
FLOOR PLAN

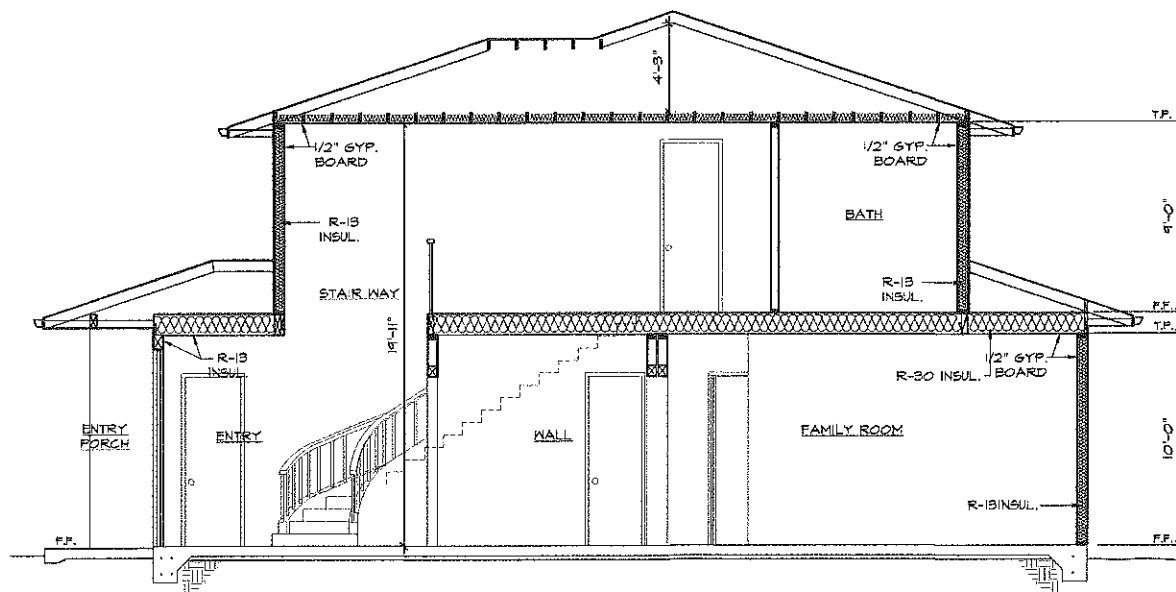
SHEET NO:

A-1



PROPOSED 2ND. FLOOR PLAN

$\frac{1}{4}" = 1'-0"$



BUILDING SECTION "A" / A-2

$\frac{1}{4}" = 1'-0"$

DOOR SCHEDULE

| SYM. | QTY. | SIZE | THK. | TYPE | MATERIAL | REMARKS |
|------|------|---------------|--------|-------------------------|----------|--------------------------|
| 1 | 1 | 3'-8" X 8'-0" | 1 3/8" | SWING S.O.D. | WOOD | |
| 2 | 2 | 3'-8" X 8'-0" | 1 3/8" | SWING H.O.D. | WOOD | |
| 3 | 1 | 6'-0" X 8'-0" | 1 3/8" | SLIDING H.O.D. | WOOD | |
| 4 | 1 | 4'-0" X 8'-0" | 1 3/8" | DLB SWING H.O.D. CUSTOM | WOOD | LOUVERED OR GLAZED TEMP. |

WINDOW SCHEDULE

| SYM. | QTY. | SIZE | TYPE | MATERIAL | U-FCTR | SHSC | REMARKS |
|------|------|---------------|----------|----------|--------|------|---------|
| A | 6 | 2'-6" X 2'-6" | CASEMENT | VINYL | 0.32 | 0.25 | |
| B | 2 | 2'-6" X 2'-6" | FIXED | VINYL | 0.32 | 0.25 | |
| C | 1 | 8'-0" X 1'-6" | FIXED | VINYL | 0.32 | 0.25 | |
| D | 2 | 2'-0" X 8'-6" | CASEMENT | VINYL | 0.32 | 0.25 | |
| E | 2 | 6'-0" X 8'-6" | SLIDING | VINYL | 0.32 | 0.25 | |
| F | 1 | 2'-6" X 8'-6" | CASEMENT | VINYL | 0.32 | 0.25 | |
| G | 1 | 4'-0" X 2'-0" | CASEMENT | VINYL | 0.32 | 0.25 | |

LEGEND

| | |
|--|---|
| ○ WINDOW CALL OUT | (N) 30"X30" ATTIC ACCESS W/30" MIN HEADROOM ABOVE |
| ○ DOOR CALL OUT | 4" DIA DRYER VENT |
| ○ SMOKE ALARMS TO BE HARD WIRE W/ BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL. INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDICATED SMOKEING UNIT. | 3 WAY SWITCH |
| ○ CEILING MOUNTED LIGHT | EXHAUST FAN W/ HIGHEST CONTROL, CAPABLE OF PROVIDING 30 CFM EXITS TO TERMINATE TO THE OUTSIDE OF BUILDING. ENERGY STAR COMPLIANT |
| ○ WALL MOUNTED LIGHT | 200 AMP ELECTRICAL PANEL |
| ○ POLE SWITCH | DIMMER SWITCH |
| ○ CEILING MOUNTED RECESSED LIGHT | CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN SLEEPING UNITS AND SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE ATTACHED GARAGES. |
| F FLUORESCENT | OUTLET 110 VOLTS (TEMPERED RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, DINING ROOMS, BATHS, LIVING ROOMS, AND RECREATION ROOMS) |
| H.E. HIGH EFFICACY | |
| P.C. PHOTOCELL | |
| ○ TEMPERED SAFETY GLAZING | |
| ○ WINDOW MEETS EMERGENCY EGRESS REQUIREMENTS. 44" MAX TO SILL, MIN 24" CLR HT. 20" CLR WIDTH, 5.7 SQ. FT. MIN NET CLEAR OPENING. | |

WALL SCHEDULE

| | |
|------------------|--|
| NEW 2X STUD WALL | 1 HOUR RATED WALL 5/8" GYP. BOARD TYPE "X" FLOOR TO ROOF |
|------------------|--|

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE L.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS UNDO.
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWINGS:
 - 5.7 SQ. FT. OF CLEAR OPENABLE AREA (8.0 AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24" MIN
 - NET OPENING WIDTH SHALL BE 20" MIN
 - FINISHED SILL HEIGHT OF 44" MAX ABOVE FLOOR.
- 1-3/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- TANKLESS WATER HEATER PER 1-24 REPORT.
 - MODEL: EUREKA R16-500-01
 - INDOOR DIRECT VENT
 - 11000 - 11000 BTU MAX
 - 1/2" GAS, 1/2" RISE MAX. 1/4" GAL/MIN. AT 48" F RISE MAX
- RESIDENT BELLAVISTA BRANKE MEDIUM GAS FIREPLACE
 - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 36" CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO).
- 36" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND 6ALV. DWT. METAL SHUTTY PAN.
- REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
- 24" WIDE DISHWASHER.
- ONE LAYER 5/8" TYPE "X" GYP. BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS. (1 HR. RATED CORB?)
- PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION IN 80" TYP "X" GYP. BD. AT SIDE AND SCOTT OF BELLOUSE AREA UNDERSTAIR STAIR.
- 30" X 30" GYP. BOARD ATTIC ACCESS PANEL. PROVIDE 24" WIDE UNOBSTRUCTED PASSAGE IN SOLID COR. FURN. FROM ATTIC ACCESS TO F.A.U. ROOM. PROVIDE 30" CLR. IN FRONT OF THE GYP. AND 30" CLR. HEAD ROOM. PROVIDE LIGHT AT EQUIP. WITH SWITCH TO ATTIC ACCESS.
- 32" X 30" ENAMELED CAST IRON TUB / SHOWER COMBINATION. SHOWER HEAD AT 78" A.F.P. PROVIDE SHOWER ADD. INSTALL PER MANUFACTURE SPECIFICATIONS.
- WATER CLOSET. PROVIDE 30" MIN. CLR. WITHIN 8" FROM CENTER TO EACH SIDE AND 24" CLR. SPACE IN FRONT. FURN. VOLUMES FOR LOW-CONSUMPTION AND WATER SAVING WATER CLOSERS SHALL BE PROVIDED WITH A WATER 120 GALLONS OF WATER PER FLUSH (60% A.O.D. 6002).
- 42" X 12" ACETYLE TUB OR BUBAL ON A RAISED WOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE 10". ENCLOSURES MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURE SPECIFICATIONS.
- HOT-WATER SHOWER PAN WITH HIGHEST CERAMIC TILE / NATURAL STONE WALLS WITH 24" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE. 30" F CLEARANCE.
- FAN LOCATION IN ATTIC PROVIDE A MIN. 30"X30" ACCESS. 24" WIDE WALKWAY AND 30" DEEP MORE. PLATFORM PROVIDE EGRESS OUTLET A.D. TO PURCHASE SWITCH BY ATTIC ACCESS OPENING. A.C. CONDENSER PER 1-24 REPORT.
- SYSTEM SHALL HAVE A MIN. 14 SEER AND DUCT INSULATION OF R-6
 - WATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 65° AT A POINT 5 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
- 24"X16" RETURN AIR REGISTER.
- RECESSED MEDICINE CABINET. 6" ABOVE CABINET
- KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM



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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:
CB15006

DRAWN BY:
GC/JC/AO

SCALE:
1/4" = 1'-0"

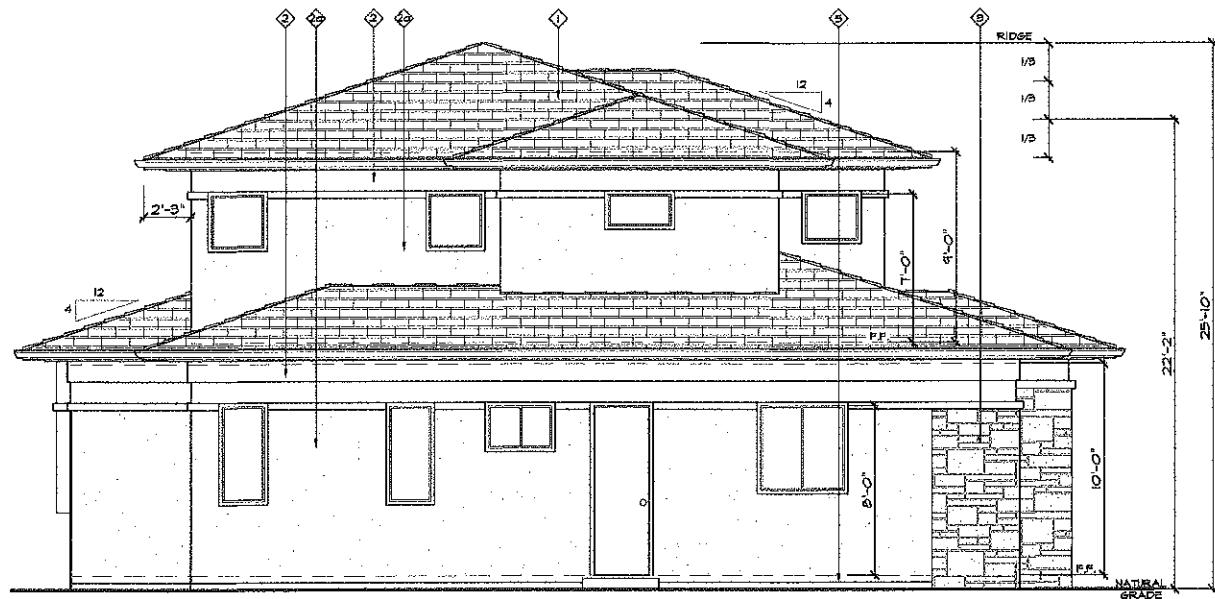
REVISIONS:

SHEET TITLE:
PROPOSED 2ND.
FLOOR PLAN

SHEET NO:

A-2

3 of 3



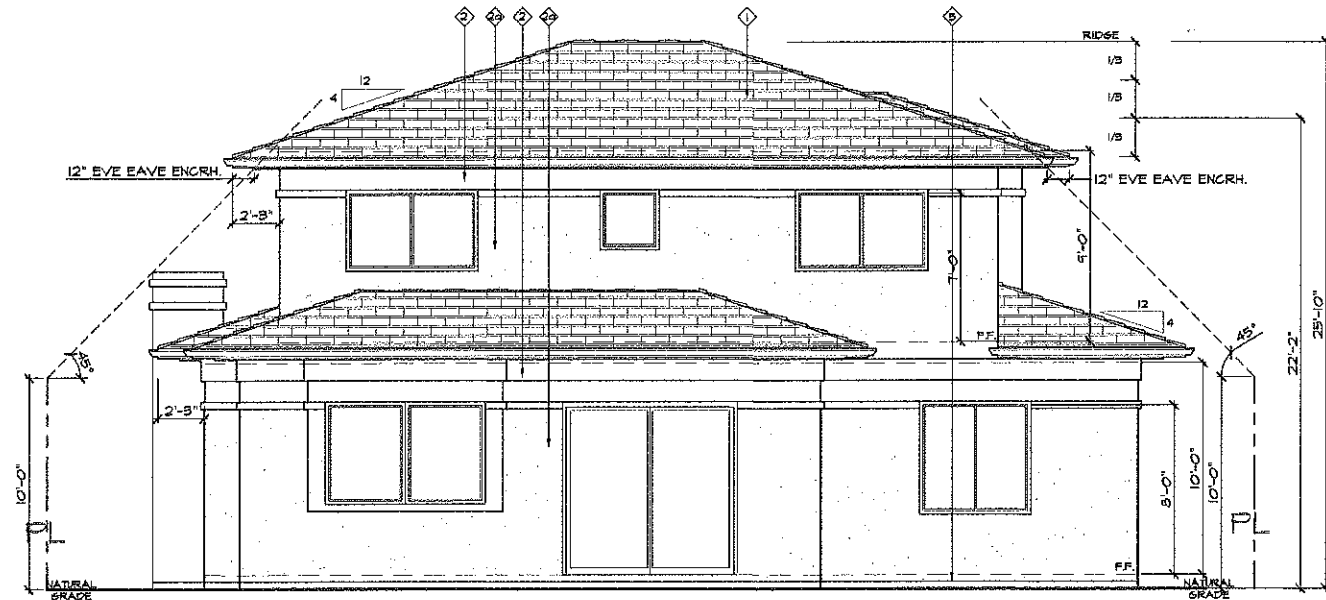
NORTH/LEFT ELEVATION

1/4" = 1'-0"



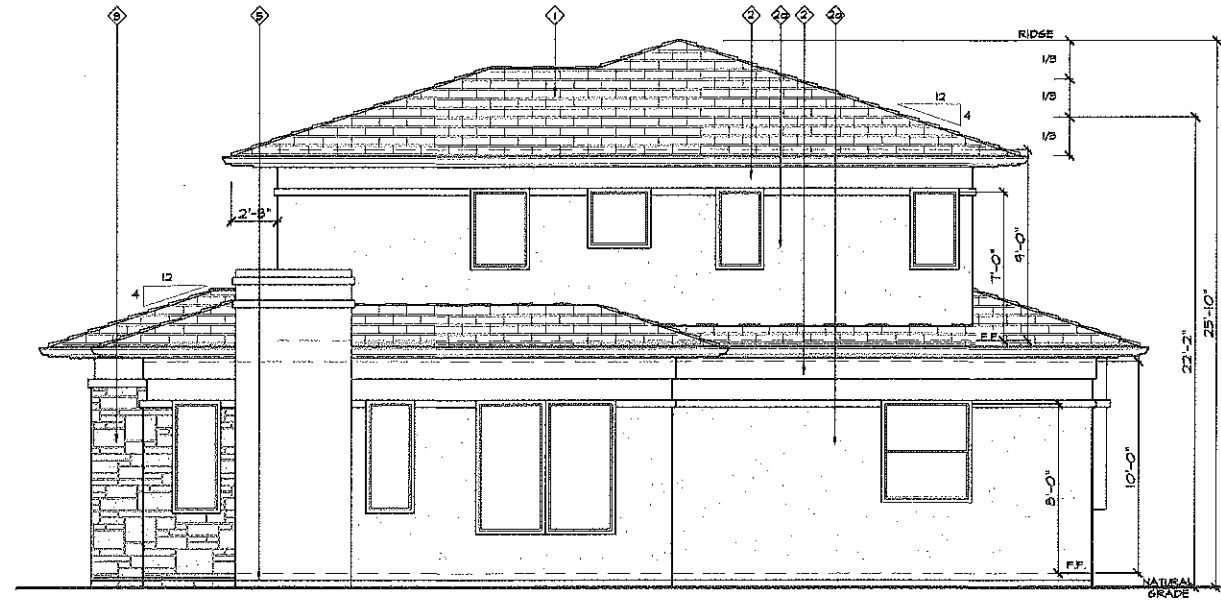
WEST/FRONT ELEVATION

1/4" = 1'-0"



EAST/REAR ELEVATION

1/4" = 1'-0"



SOUTH/RIGHT ELEVATION

1/4" = 1'-0"

KEY NOTES

- 1. NO BORAL - SAXONY 300 CONC. TILE, CLASS A, ISO ESR 1841
COLOR - Dark Charcoal Blend
- 2. LA HABRA 3/8" STUCCO IV 2-LAYERS OF GRADE 1"
COLOR - PURE IVORY
- 3. LA HABRA 3/8" STUCCO IV 2-LAYERS OF GRADE 1"
COLOR - PURE IVORY, FINISH - SAND FLOAT
- 4. VEEZER EL DORADO STONE 'COASTAL REEF'
- 5. NO. 26 GALVANIZED SHEET METAL WEEP SCREED & FOUNDATION PLATE

ATTIC VENTILATION

FIRST FLOOR ATTIC:
607 SQ. FT. 1/150 = 5.58 SQ. FT. REQUIRED
-50% 3" ABOVE THE EAVE VENTS (2) NEW 12 X 24 DORMER VENT
(0.94 SQ. FT.) = 3.96 PROVIDED

-50% WITH EAVE VENTS (8) NEW 3-3" VENT(0.15 SQ. FT.)
8 X 0.15 = 1.50 PROVIDED
TOTAL VENTILATION PROVIDED = 5.46 SQ. FT.

VENT NOTES:
1. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR
OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX OPENING.
2. A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN
INSULATION AND ROOF SHEATHING.

ATTIC VENTILATION

SECOND FLOOR ATTIC:
1074 SQ. FT. 1/150 = 7.19 SQ. FT. REQUIRED
-50% 3" ABOVE THE EAVE VENTS (2) NEW 12 X 24 DORMER VENT
(0.94 SQ. FT.) = 3.44 PROVIDED

-50% WITH EAVE VENTS (10) NEW 3-3" VENT(0.15 SQ. FT.)
10 X 0.15 = 1.50 PROVIDED
TOTAL VENTILATION PROVIDED = 7.44 SQ. FT.



C.B. HOME DESIGN INC.
1168 SAN GABRIEL BLVD
SUITE P
ROSEMead, CA 91770
PHONE: (626) 279-5657
EMAIL: CBHOME626@GMAIL.COM

THESE DRAWINGS AND
SPECIFICATIONS, IDEAS, DESIGNS AND
ARRANGEMENTS ARE, AND SHALL
REMAIN, THE PROPERTY OF C.B. HOME
DESIGN. NO PART SHALL BE COPIED,
REPRODUCED OR OTHERWISE USED,
DIRECTLY OR INDIRECTLY, IN WHOLE
OR IN PART, IN CONNECTION WITH ANY
OTHER WORK OR PROJECT WITHOUT
THE WRITTEN CONSENT OF C.B. HOME
DESIGN. VISUAL CONTACT WITH THESE
DRAWINGS AND/OR SPECIFICATIONS
SHALL CONSTITUTE A PRIMA FACIE
EVIDENCE OF ACCEPTANCE OF THESE
RESTRICTIONS.

OWNER INFO:
CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:
PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:
CB15086

DRAWN BY:
GC/JC/AO

SCALE:
1/4" = 1'-0"

REVISIONS:
.

SHEET TITLE:
ELEVATIONS

SHEET NO:

A-3

4 OF 4

NEW DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024
APN # 5768-010-037

1 ROOFING

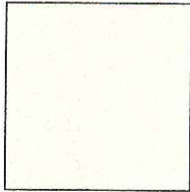


297 Slate Range
Profile: Bel Air
Description: Charcoal Range



2 STUCCO
OR
SIMILAR

LaHabra®



PURE IVORY
XES
BASE 100

3 STONE VENEER



Coastal Reef

4 GUTTERS



Color Interpretation: Colors
DARK ENGINE DE6350



WEST/FRONT ELEVATION

1/4" = 1'-0"

KEY NOTES

1. BORAL - SAXONY 400 CONC. TILE CLASS A, ICC ESR 1641
COLOR: Dark Charcoal Blend
2. LA HABRA 7/8" STUCCO IV 2-LAYERS OF GRADE 'D'
COLOR: PURE IVORY, FINISH: MISSION
3. LA HABRA 7/8" STUCCO IV 2-LAYERS OF GRADE 'D'
COLOR: PURE IVORY, FINISH: SAND FLOAT
4. VENEER: EL DORADO STONE "COASTAL REEF"
5. DUN EDWARDS: DARK ENGINE DE6350
6. NO. 26 GALVANIZED SHEET METAL KEEL SCREED @ FOUNDATION PLATE.



C.B. HOME DESIGN INC.
1188 SAN GABRIEL BLVD
SUITE P
ROSEMead, CA 91770
PHONE: (626) 279-5557
EMAIL: CBHOME626@GMAIL.COM

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:
CB15-086

DRAWN BY:
GC/JC/AO

SCALE:
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
COLOR ELEVATIONS
AND MATERIAL

SHEET NO:

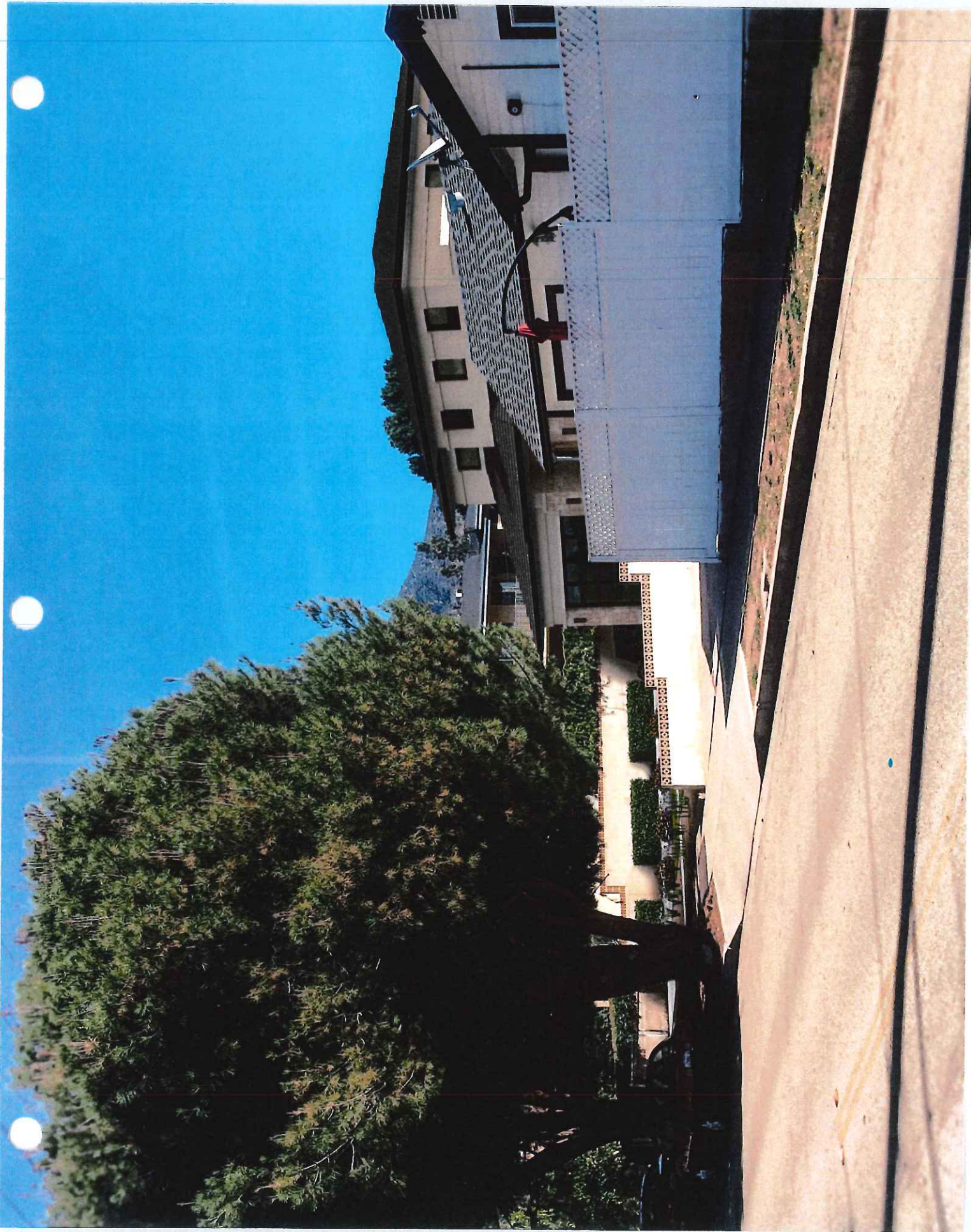
A-4

4 OF 4

EXHIBIT B

3-D Simulations







FRONT VIEW (PROPOSED)

NOTE : GRATER SETBACK



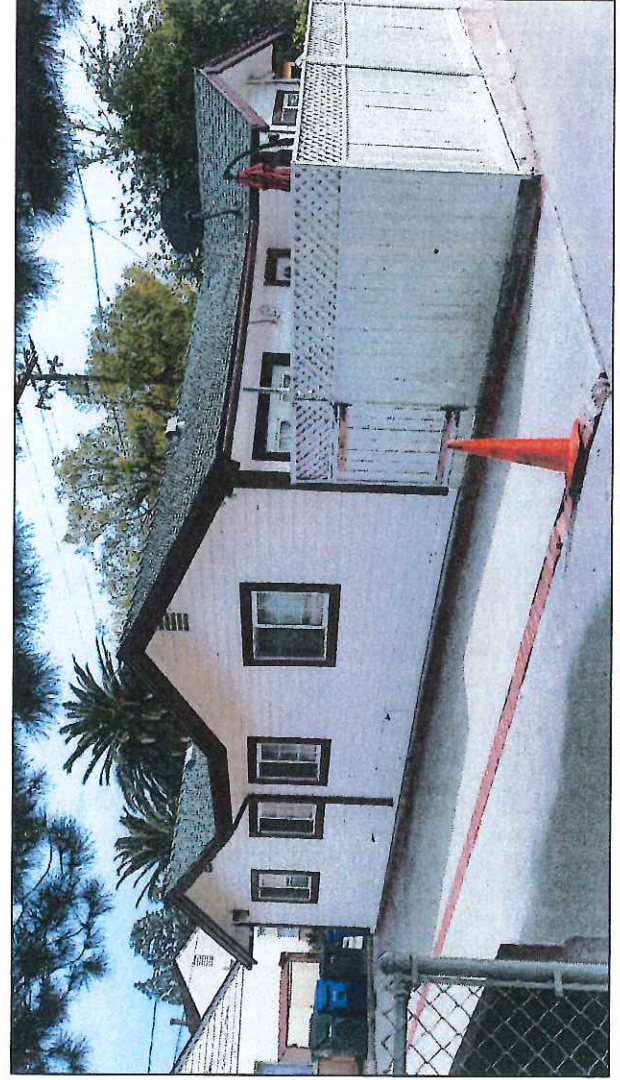
FRONT VIEW (PROPOSED)



EXISTING



327 W. MONTECITO AVE (CORNER HOUSE) NOTE: SMALL SETBACK



327 W. MONTECITO AVE (CORNER HOUSE)

EXHIBIT "E"

STREET ELEVATION

HOUSE COMPARISON

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MAR 22 2016

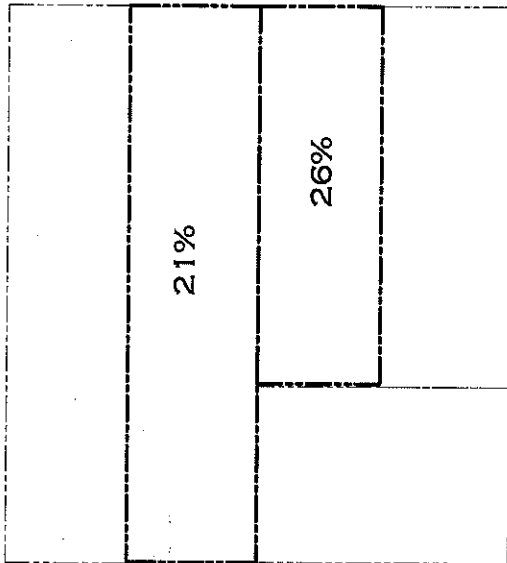
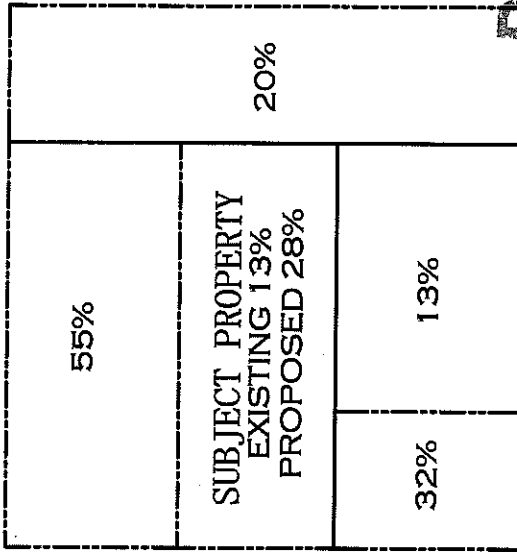
CITY OF SIERRA MADRE
PLANNING & BUILDING



EXHIBIT C

Neighborhood Floor Area Comparison

NEIGHBORHOOD FLOOR AREA COMPARISON



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MAR 22 2016

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PLANNING & BUILDING

W MONTECITO AVE

NEIGHBORHOOD FLOOR AREA COMPARISON

| STREET ADDRESS | FLOOR AREA (LIVING SPACE GARAGE NOT INCLD.) | LOT AREA | FLOOR AREA (LIVING SPACE ONLY) / LOT AREA |
|-------------------|---|----------|---|
| 96 N LIMA ST | 5,330 | 9,600 | 55% |
| 327 MONTECITO AVE | 1,128 | 3,523 | 32% |
| 86 N LIMA ST | 2,431 | 8,631 | 28% PROPOSED |
| 75 N LIMA ST | 1,646 | 6,300 | 26% |
| 101 N LIMA ST | 2,180 | 10,250 | 21% |
| 303 MONTECITO AVE | 1,959 | 9,600 | 20% |
| 315 MONTECITO AVE | 900 | 7,046 | 13% |
| 86 N LIMA ST | 1,136 | 8,631 | 13% EXISTING (DEMO) |
| AVERAGE | 2,191 | 7,719 | 28% |

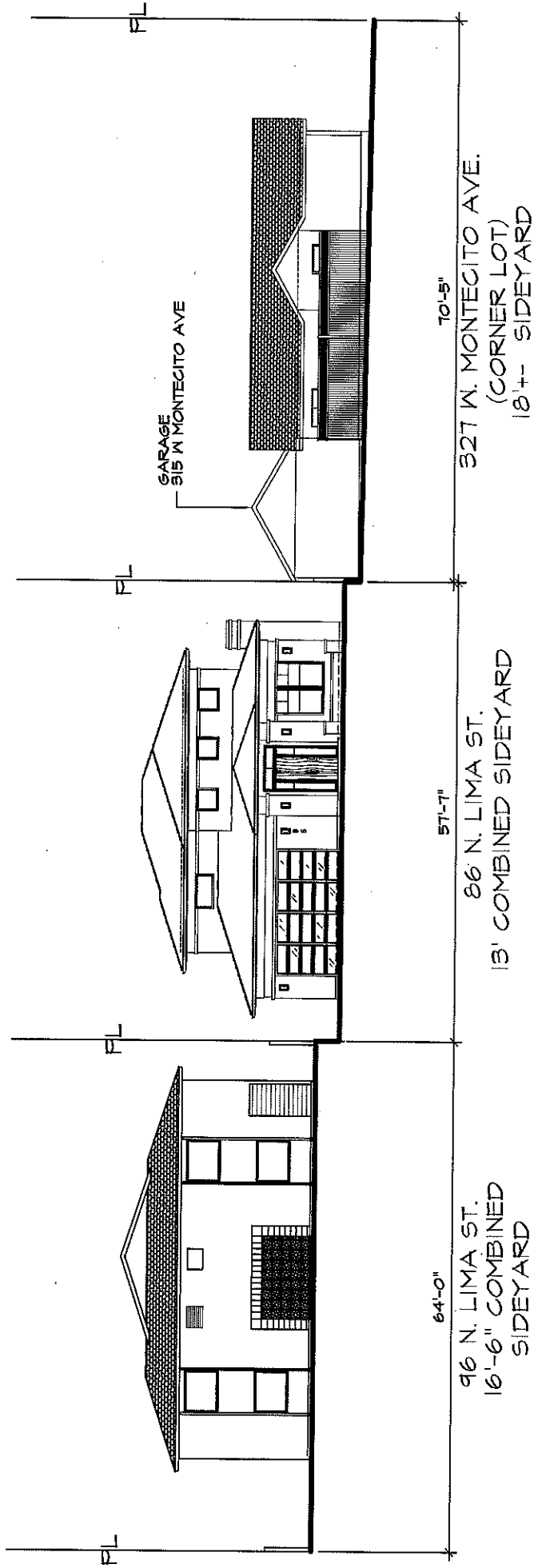
NOT INCL'D
IN AVERAGE

NOT INCL'D
IN AVERAGE

EXHIBIT D

Street Elevation

STREET ELEVATION



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FEB 24 2016

CITY OF SIERRA MADRE
PLANNING & BUILDING

EXHIBIT E

Front Yard Setback Comparison

FRONT YARD SET
BACK COMPARISON / MASS

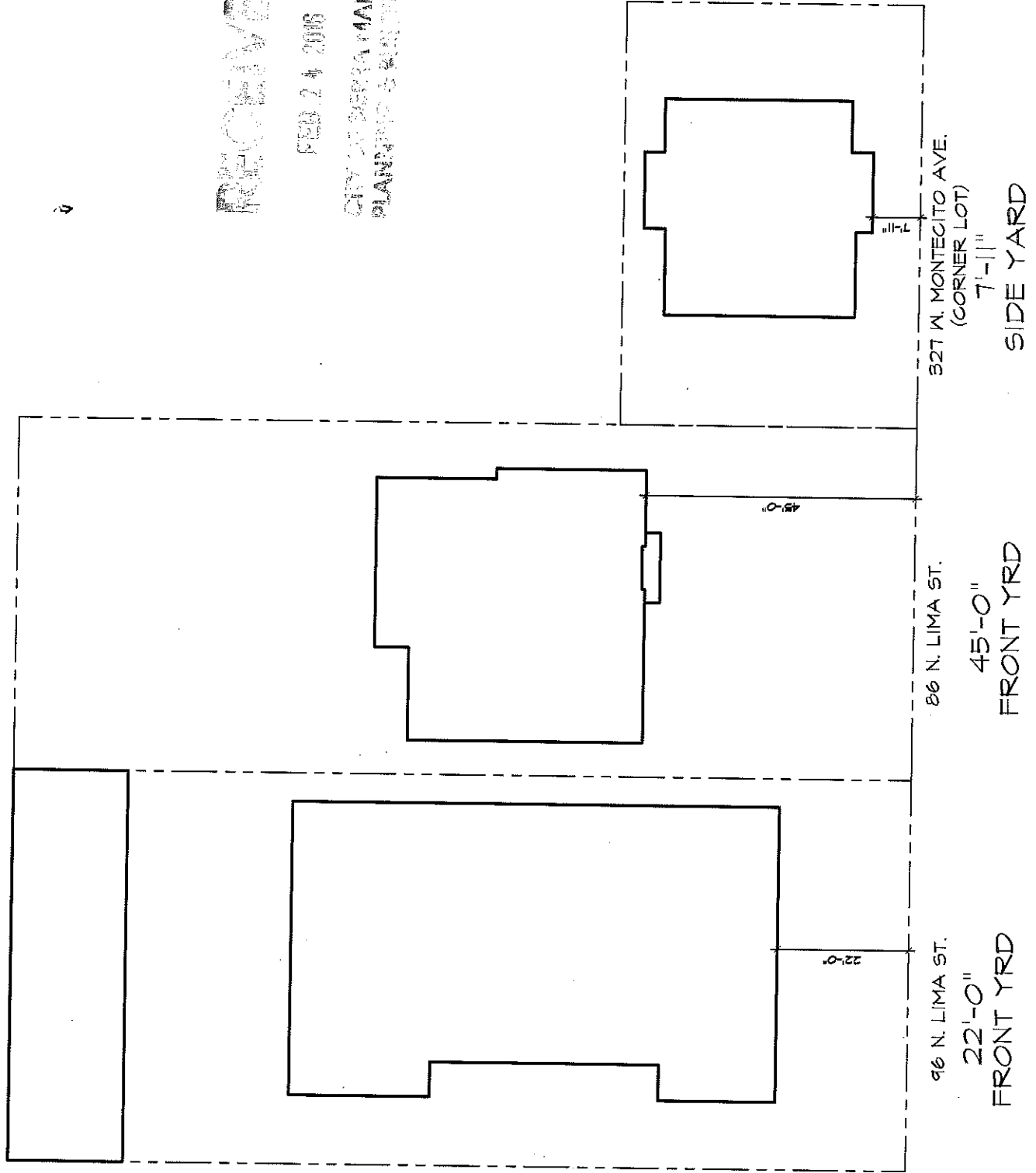


EXHIBIT F

Project Application

204854



City of Sierra Madre Planning Application Form

232 W. Sierra Madre Blvd. Sierra Madre, CA 91024
626-355-7135 Fax: 626-355-2251

Date Received

12.15.15

P.C. Hearing Date

Project No.

CUP 15-26

Project Location 86 N. LINDA ST SIERRA MADREAPN # 5768-010-037 General Plan & Zoning RH AND R-3Applicant Requests: REQUESTING A CONDITIONALUSE PERMIT TO ALLOW A NEW TWO STORYRESIDENCE PURSUANT TO CODE SECTION17.20.025Type of Discretionary
Review/Fee

Variance

\$ _____

☐

Minor Variance

\$ _____

☐

Conditional Use Permit

\$ 4,570.-☒

Minor Conditional Use Permit

\$ _____

☐

Zone Change

\$ _____

☐General Plan
Amendment

\$ _____

☐

Public Facilities Fee

\$ _____

☐

Environmental Fee

\$ 154.-☒

Noticing Fee

Director

PC \$ 612.-

CC \$ _____

☒TOTAL \$ 5,336.-

Applicant Information

Name:

GERMAN CORTEZOwner ☐Escrow ☐Lessee ☐Other ☐Designer

Address:

1168 SAN GABRIEL BLVD STEPHROSEMAD CA 91770H/C: (626) 279-8657

W: _____



If required:

COVENANTS, CONDITIONS AND/OR RESTRICTIONS:

SIERRA MADRE MUNICIPAL CODE (Sections) (For Office Use Only)

IN R-3 ZONE**RECEIVED**

FEB 24 2016

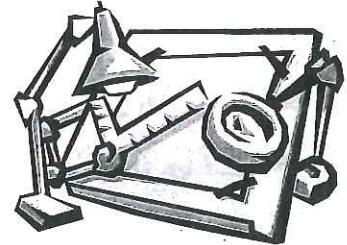
CITY OF SIERRA MADRE
PLANNING & BUILDING

Planning Application Form

Page 2

Owner Information (if different from Applicant)

Firm: _____ Contact: _____
Address: _____ Phone: _____
_____ E-mail: _____



Architect Information

Company: CB HOME DESIGN Contact: GERMAN CORTES
Address: 1168 SAN GABRIEL BLVD Phone: 626 482 0956
#P ROSEMEAD CA 91770 E-mail: _____

Engineer Information

Company: T&W ENGINEERS Contact: HAROLD WU
Address: 1168 SAN GABRIEL BLVD Phone: (626) 288-0708
#N ROSEMEAD CA 91770 E-mail: _____

Appeal

If any person is aggrieved by a decision, an appeal may be filed to a higher decision-making body. For further information please contact the Department of Development Services for the procedure and time constraints.

For Office Use Only

Planning Commission

Date: _____
Action: _____

City Council Appeal

Date: _____
Action: _____

Tree Advisory Commission

Date: _____
Action: _____

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CITY OF SIERRA MADRE
PLANNING & BUILDING

Application Completeness: Only applications that include all of the required documents described on the following page will be deemed "complete." The Department of Development Services retains the right to review documents and determine that they are adequate in their ability to convey the applicant's request to the decision making body. Applicants will be notified if the application is not complete, within 30 days of filling the application and paying all required fees.

Refund: Applicants will be entitled to refunds of relevant fees only if an application has been submitted and received in error by City Staff. Fees will not be refunded to an applicant who decides not to pursue a project which has been submitted.

The City will work with one individual, or firm, who is the "applicant." It is expected that the applicant will convey all project related information to the individuals involved in the project.



Certification

I certify that I am the duly authorized applicant for this project. Further, I certify that all of the above information is true and correct. (If the undersigned is different from the legal property owner, a letter of authorization must accompany this form.)

I have read and agree to comply with the above stated conditions:

Cynthia Li
Name of Applicant

[Signature]
Signature

Feng Wang
Name of 2nd Applicant

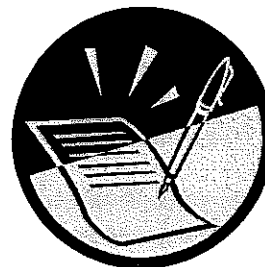
[Signature]
Signature

**Variance and
Conditional Use
Permit applications
must include:**

Descriptions and/or analysis to the required attached findings, in order to be deemed complete.

PLEASE NOTE: THE ABOVE SIGNATURE(S) MUST BE NOTARIZED.

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DEC 15 2015
CITY OF SIERRA MADRE
PLANNING & BUILDING



Required Submittal Materials:

- ☒ Completed Planning Application Form
- ☒ **PROJECT DESCRIPTION & ANALYSIS:** On **page 10**, describe the proposal including current use of the property, demolition (if any), proposed construction, proposed use and any other relevant information to the applicant request. Submit all information listed on the analysis form.
- ☒ **SITE PLAN:** Attach a dimensioned site plan including all property lines indicating existing and proposed structures and the current and proposed use of all structures. Indicate the location of any structures within 5 feet of the abutting site(s). The site plan must indicate a north direction, the architect's name, the owner's name, existing trees & plant materials, internal & external right-of-ways, yard dimensions, and a scale. *To be included in one (1) blue print size (24"x36") set of plans, due at the time of application submittal.*
- ☒ **DIMENSIONED FLOOR PLANS:** Must indicate North direction, architect's name, owner's name, and a scale. *To be included in one (1) blue print size (24"x36") set of plans, due at the time of application submittal.*
- ☒ **ELEVATIONS:** Dimensioned elevations must be included for each side of the property. Elevations must identify the relevant property lines, natural & finished grade, and massing of structures on adjacent properties. *To be included in one (1) blue print size (24"x36") set of plans, due at the time of application submittal.*
- ☒ **COLORED PHOTOGRAPHS:** Include pictures of all four (4) directions (N, S, E & W) of existing site and abutting properties looking in and out. *One (1) set of photos due at the time of application submittal.*
- ☒ Fourteen (14) copies/sets of the following: 1) 3-hole punched 11"x17" reductions of site plan, floor plans, and elevations; 2) Colored photographs (3-hole punched). *These items to be submitted a minimum 10 days prior to Planning Commission hearing date.*
- ☐ **ELECTRONIC COPY OF PLANS:** PDF format. *To be submitted a minimum 10 days prior to Planning Commission hearing date.*
- ☒ Colored rendering of front elevation
- ☒ Owner's Affidavit
NOTIFICATION:
A **300-foot-radius** map and the names of the property owners within a 300 foot radius is required.
Submit a master list and 2 (two) sets of typed labels listing all property owners and their addresses for purposes of mailing public hearing notices. *Note: A 150-foot-radius is required for Minor Variances or consent of abutting owners and owner directly across the street from the project site.
- ☐ Environmental Information Form
- ☐ **SITE SURVEY:** The survey must be completed by a licensed surveyor and show existing grades, structures, and other relevant information. (If required by the Planning Department)
- ☐ Tree removal plan (if necessary) for review by the Tree Advisory Commission
- ☐ Entry onto Private Land. By submitting said form a property owner grants permission to staff and the Planning Commissioners the right to enter private property to evaluate the request.
- ☐ Public Facilities Fee: Please check with Development Services staff if this fee applies to your project (Title 15; Chapter 15.52)

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DEC 15 2015

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CITY OF SERRA MAR CIVIL CODE § 1189

~~PLANNING APPLICATION~~

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Los Angeles)

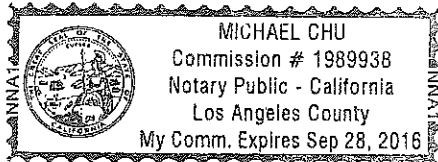
On December 12, 2015 before me, MICHAEL CHU, NOTARY PUBLIC
Date Here Insert Name and Title of the Officer

personally appeared CYNTHIA LI & FENG WANG
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Planning Application Form Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Required Submittal Materials:

(Continued from previous page)

- ☐ Conceptual Landscape Plan
- ☐ Three-dimensional perspectives of the proposed project in relation to all adjacent properties.
- ☐ Public Facilities Fee: Please check with Planning and Community Preservation staff if this fee applies to your project (Title 15; Chapter 15.52)

**All signatures must be notarized*

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FEB 24 2016

**CITY OF SIERRA MADRE
PLANNING & ZONING**

CONDITIONAL USE PERMIT FINDINGS

FEB 24 2016

Before any conditional use permit is granted, the applicant shall show to the reasonable satisfaction of the body hearing such matter, the existence of the following facts:

(Attach additional sheets as necessary)

- A. That the site for the proposed use is adequate in size, shape, and topography, and location;

PROPOSED DEVELOPMENT MEETS & COMPLIES WITH
ALL ZONING GUIDELINES HEIGHTS, SIZE, & TOPOGRAPHY.

- B. That the site has sufficient access to street which are adequate, in width and pavement type, to carry the quantity and quality of traffic generated by the proposed use;

PROPOSED USE IS NOT INCREASING THE NUMBER
OF UNITS PER LOT. THEREFORE USING EXISTING ACCESS.

- C. That the proposed use is neither detrimental to the public health, safety and general welfare, nor will unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties;

THE PROPOSED USE WILL MATCH EXISTING USE AND THAT
OF ITS ADJACENT PROPERTIES.

- D. That there is a demonstrated need for the use requested;

NEW SINGLE FAMILY RESIDENCE THAT ARE ADEQUATE
TO THE FORMER USE.

- E. That the proposed use is consistent with the general plan, zoning and any applicable design standards;

THE PROPOSED SINGLE FAMILY RESIDENCE SETTING IS
CONSISTENT WITH THE RESIDENTIAL ZONING.

- F. That the use at the location requested would benefit the public interest and convenience;

RECONSTRUCTION OF THE DWELLING WITH A NEW LARGER ONE
PROMOTES THE INCREASE OF VALUE FOR THE SURROUNDING NEIGHBORHOOD.

CONDITIONAL USE PERMIT FINDINGS

FEB 24 2016

CITY OF SIERRA MADRE
PLANNING DEPARTMENT

For projects described in Sections 17.20.025, 17.30.040, or others referencing this section, before any permit is granted, the application shall show, to the reasonable satisfactions of the reviewing authority, the existence of the following facts:

(Attach additional sheets as necessary)

- A. That the height, bulk, scale, mass and siting of the proposed project be compatible with the existing neighborhood, landforms and surroundings; THE PROPOSED DWELLING WILL MEET ALL DESIGN GUIDELINES AND WILL BE OF A CONSISTENT ARCHITECTURAL STYLE THAT WILL MATCH THE SURROUNDING. ALL DESIGN FEATURES WILL BE OF HUMAN SCALE PROPORTIONS.
- B. That the proposed project reflects the scale of the neighborhood in which it is proposed and that it does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from the foothill village setting; THE EXISTING SETTING OF THE BLOCK FACE ON N. LIMAS ARE MOSTLY APARTMENTS WITH FRONT SETBACKS OF ABOUT 20 TO 25 FEET. BECAUSE SENSITIVE TO THE SMALL DWELLING ADJACENT TO THE SOUTH, THE PROPOSED IS SET FURTHER BACK AT 42'-6".
- C. That the proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts; THE PROPOSED DOES NOT INTERFERE WITH PUBLIC VIEWS AND THE PRIVACY OF NEIGHBORS. THE PROPOSED SETTING OF THE DWELLING DOES NOT OVERVIEW ANY PRIVATE OPEN AREA OF THE SURROUNDING PROPERTIES.
- D. The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible. THE PROPOSED PROJECT IS A SINGLE BUILD AND WILL BE A ONE CONSISTANT ARCHITECTURAL STYLE.
- E. For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height pursuant to Section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether that same are publically visible.

CONDITIONAL USE PERMIT FINDINGS

(Continued from previous page)

- F. For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B), or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, of the following:
1. innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, generic, or "cookie-cutter" plans;
 2. Where applicable, adaptive reuse or other preservation and restoration of historic structures;
 3. preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected and specimen trees;
 4. siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;
 5. high quality architectural details and building materials compatible with the overall project design; and
 6. sustainable building and landscaping practices, especially water-saving features.

(See information regarding Conditional Use Permit Findings on next page)

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FEB 24 2015

CITY OF SIERRA MADRE
PLANNING DEPARTMENT**CONDITIONAL USE PERMIT FINDINGS***(Continued from previous page)*

As used in this section, compatibility is not interpreted to mean simple repetition of existing form, mass, scale and bulk. Nor is compatibility interpreted to mean repetition of building style or detailing. Compatibility is based on consideration of a constellation of associated characteristics including building type, the property site plan, building mass and scale, and architectural material and expression. Compatibility comes from an identification of character-defining features of an area, and an applicant's thoughtful response to them within the design.

This section is not meant to be a perfunctory review of projects which comply with other development standards. Rather it is meant to impose significant, separate, and additional burdens on proposed projects with the understanding that in many cases satisfying such burdens may call for significantly reduced development intensity than is allowed otherwise under this title. By way of illustration and not limitation, (i) so as not to unreasonably interfere with views and privacy, a project proposed on a narrow or irregularly shaped parcel may accommodate significantly less second story floor area than would otherwise be allowed; (ii) so as not to unreasonably interfere with views and privacy, a proposed project with significant second story floor area may need to be set back farther from lot lines than otherwise allowed; (iii) to ensure compatibility with and not to visually overpower or dominate the neighborhood, the floor area of a proposed project in a neighborhood predominated by smaller homes may need to be much lower than allowed by objective criteria; (iv) to ensure compatibility with landforms, a project proposed on a parcel with steep slopes or irregular topography may have much more limited siting options than set back standards would allow and may need reduced height and/or floor area; and (v) to exhibit exceptional design through noteworthy architecture, the floor area of a proposed project may need to be much lower than allowed by objective criteria in order to allow space for articulation, variation in massing, covered porches, and other enhancing architectural features.

Additionally, as standard two-dimensional building elevations and other similar graphic materials typically do a poor job of depicting projects in context, it is recommended that applicants provide materials in addition to those otherwise required in order to demonstrate that their proposed projects satisfy the foregoing burdens. Such materials may include, but are not limited to, three-dimensional perspective renderings from multiple angles; photo simulations showing the sited project in relation to neighboring structures and landforms; comparisons of proposed building size, height, setbacks, etc. to surrounding structures; story poles; material and color boards; information on energy and water saving systems; and colored landscape plans showing protected and specimen trees and illustrating drought-tolerant landscaping, permeable paving and other water-saving features.

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FEB 24 2018

CITY OF MACRE
PLANNING DEPARTMENT**MINOR CONDITIONAL USE PERMIT FINDINGS**

Upon consideration of any comments received, the Director of Planning and Community Preservation may approve, conditionally approve, or deny the proposed minor conditional use permit pursuant to the following findings:

- A. That the proposed request will not be detrimental, or otherwise be inconsistent with the residential character of the neighborhood;
-
-
- B. That the site of the proposed request is adequate in size, shape and topography to accommodate the request;
-
-
- C. That the proposed request will not unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent property owners;
-
-
- D. That there is a demonstrated need for the use requested;
-
-
- E. That the proposed request will be arranged, designed, constructed, operated and/or maintained so as to be compatible with intended character of the surrounding area and shall not change the essential character of the surrounding area from that intended in the general plan.
-
-

VARIANCE FINDINGS

FEB 24 2018

CITY OF TERRA MARRE

Before any zone variance is granted, the applicant shall show, to the reasonable satisfaction of the body hearing such matter, the existence of the following facts:

- A. The conditions of the variance will assure that the adjustment thereby authorized will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

- B. The variance will not authorize a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

- C. The applicant has shown that there are special circumstances applicable to the property involved, such as size, shape, topography, location or surroundings, which do not generally apply to other adjacent properties included in the same zone as the subject property.

- D. The special circumstances make the granting of the zone variance necessary in order to facilitate a reasonable use of the property involved.

- E. The variance will be consistent with the objectives of the general plan and the zoning ordinance.

MINOR VARIANCE FINDINGS

FEB 24 2016

CITY OF DEER PARK
PLANNING & BUILDING

Burden of Proof and Conditions of Approval. The director must find or conditions must be imposed to insure that:

A. The project does not adversely impact the public health, safety, and welfare;

B. The design of the home is improved with the granting of the minor variance.

Project Description & Analysis: Please print a narrative summary of the proposed project within the box.

- DEMOLISH EXISTING SINGLE FAMILY DWELLING (BUILT IN 1947)
- CONSTRUCT A 2-STORY SINGLE FAMILY DWELLING
- * ATTACHED 2-CAR GARAGE
- * TOTAL OF 4 BEDROOMS AND 4 1/2 BATHS

RECEIVED

FEB 24 2016

CITY OF SIERRA MADRE
PLANNING & BUILDING

Fill in the following information:

Square Footage of Structures

| | |
|--------------------|--|
| Existing Dwelling | 1,136 S.F. (TO BE DEMO) |
| Existing Garage | 200 S.F. (DEMO) |
| Other Structure(s) | 110 S.F. |
| Proposed Structure | 2,895 S.F. + INCLUDING GARAGE 443 S.F. |

Floor Area

| | |
|------------------------------|------------|
| Maximum Allowable Floor Area | 2,907 S.F. |
| Existing Floor Area | 1,136 S.F. |
| Proposed Floor Area | 2,895 S.F. |

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CITY OF SIERRA MADRE
PLANNING & BUILDING

Permissible Lot Coverage

| | |
|------------------------|------------------|
| Permitted Lot Coverage | 40% = 3,452 S.F. |
| Existing Lot Coverage | 15% |
| Proposed Lot Coverage | 22% 1,918 S.F. |

FEB 24 2018

CITY OF BEVERLY HILLS
PLANNING DEPT

Front Yard Setback

| | |
|--------------------|-------|
| Required | _____ |
| Existing | 70' |
| Proposed | 45' |

Side Yard Setbacks

| | |
|--------------------|-------|
| Required. | 5' |
| Existing | 5' |
| Proposed | 5'-7" |

Rear yard Setback

| | |
|--------------------|---------|
| Required | 15' |
| Existing | 40' |
| Proposed | 59'-10" |

Height

| | |
|--------------------|-------------------------|
| Existing | @ 1/3 roof pitch 13'-0" |
| Proposed | @ 1/3 roof pitch 22'-2" |

Parking

| | |
|--------------------|----------------|
| Existing | 1 - CAR GARAGE |
| Proposed | 2 - CAR GARAGE |



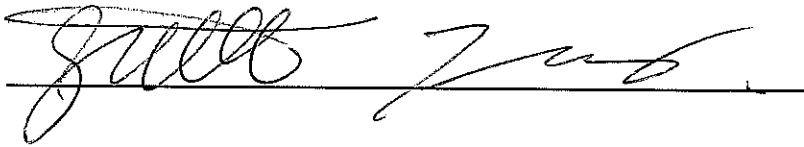
City of Sierra Madre

OWNER'S AFFIDAVIT

I am the owner of the property located at 86 N. LIMA ST SIERRA MADRE CA 91024.

I have read the foregoing application for the planning permits and know the contents thereof and give the City of Sierra Madre permission to process such permits.

I certify under penalty of perjury that the foregoing is true and correct.



Signature

Please print:

Name

Cynthia Li / Feng Wang

Address

86 N Lima StSierra Madre, CA 91024

Telephone

(626) 463-8899

PLEASE NOTE: THE ABOVE SIGNATURE MUST BE NOTARIZED.

City of Sierra Madre

ENTRY ONTO PRIVATE LAND

In the performance of their functions, the members of the Planning Commission and the staff of the City of Sierra

Madre may enter upon my land located at 86 N. LIMA ST SIERRA MADRE CA 91024

and make examinations provided that the entries and examinations do not interfere with the use of the land by

those persons lawfully entitled to the possession thereof.

Cynthia Li/Feng Wang

Signature of Land Owner

12/12/2015

Date



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DEC 12 2015

CITY OF SIERRA MADRE
PLANNING & BUILDING

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DEC 13 2015

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CITY OF SIERRA MADRE
PLANNING AND BUILDING

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Los Angeles)

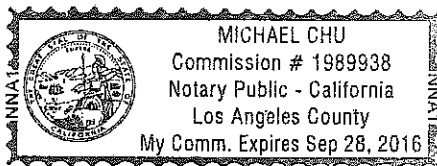
On December 12, 2015 before me, MICHAEL CHU, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared CYNTHIA LI & FENG WANG
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature

Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: OWNER'S Affidavit Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Planning Application Form

Page 15

Any trees, shrubs, or vegetation to be removed? ☒ NO ☐ YES If YES, please describe type and total numbers.

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CITY OF DECATUR
PLANNING & BUILDING

Proposed Landscaping includes: LANDSCAPE AS REQUIRED BY PLANNING

Any existing structure(s) to be demolished? ☐ NO ☒ YES If YES, please describe structure.

DEMO EXISTING 1,136 SF FAMILY DWELLING

Is the site on the Register of Historic Cultural Landmarks? ☒ NO ☐ YES

Will the site be graded? ☒ NO ☐ YES

Cubic Yards Cut Fill Import Export

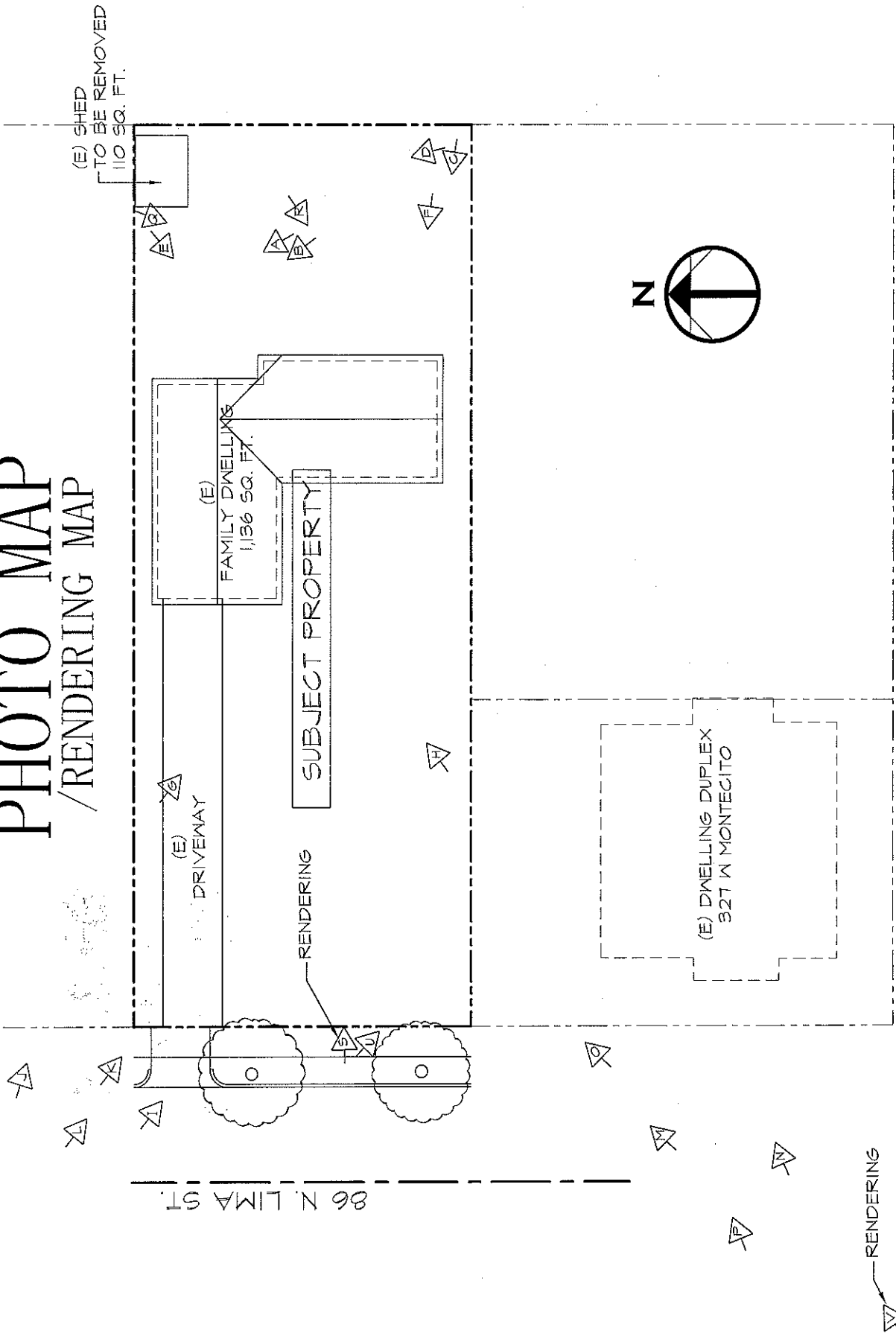
Will a wall be constructed? ☒ NO ☐ YES

Height Length Material

EXHIBIT G

Site Photos

PHOTO MAP /RENDERING MAP





867 LINDA ST



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PLANNING & BUILDING



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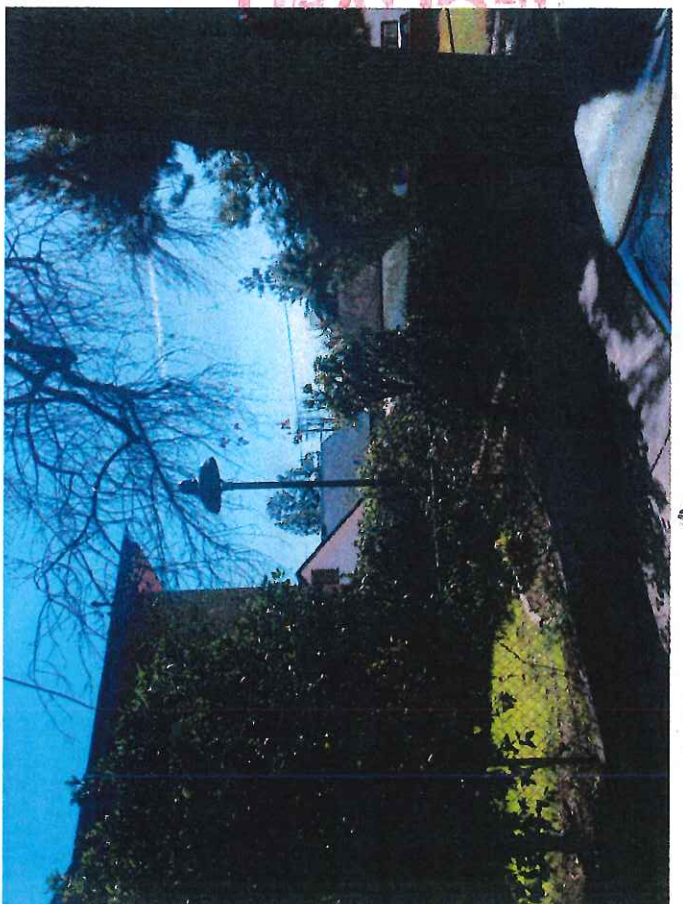
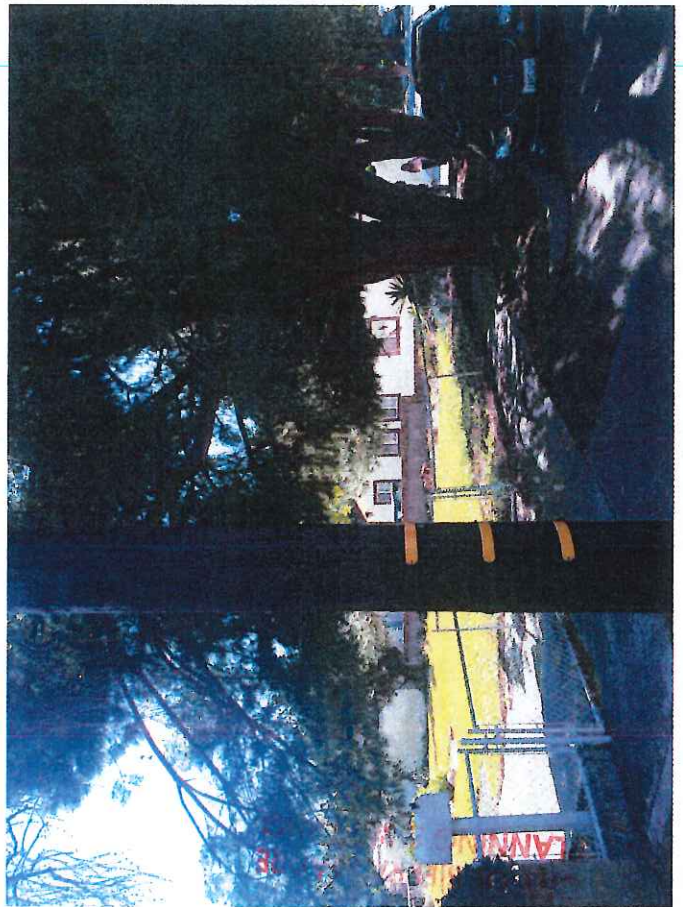
CITY OF SIERRA MADRE
PLANNING & BUILDING



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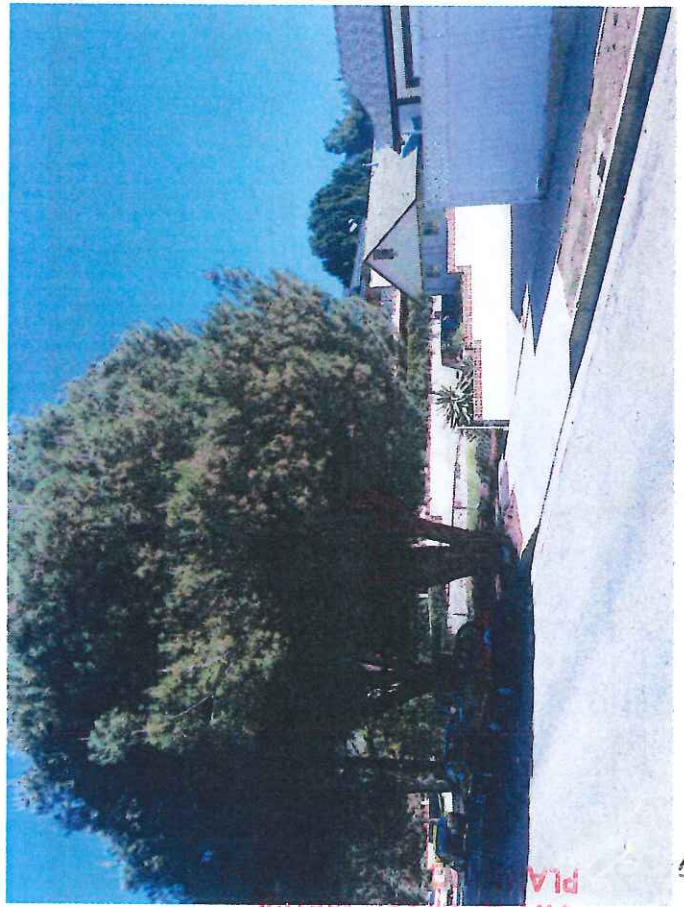


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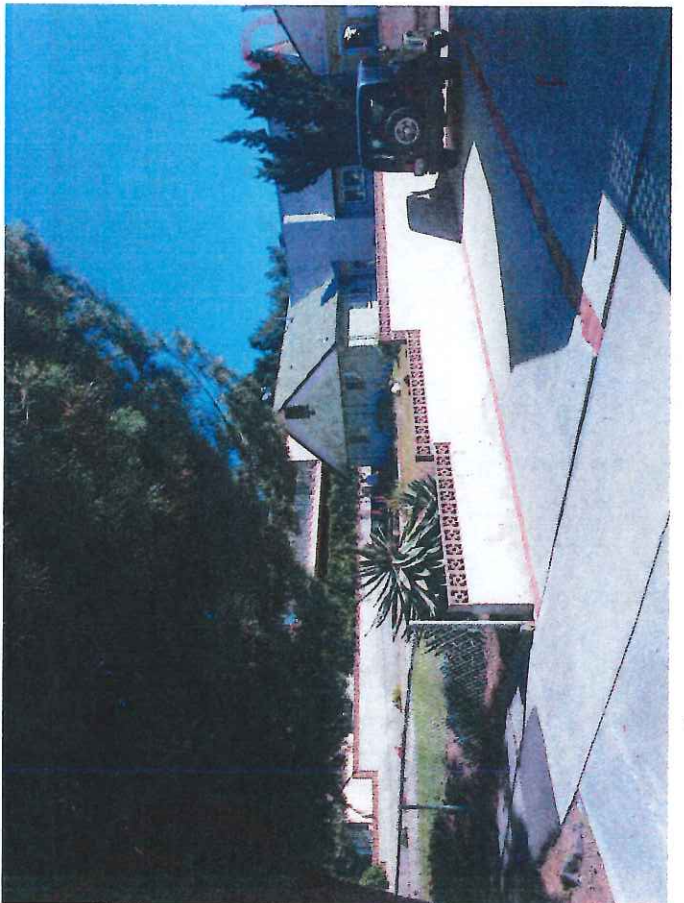
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CITY OF SLEEPY HOLLOW
PLANNING DEPT

FEB 23 2016



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CITY OF SIERRA MADRE
PLANNING & BUILDING



EXHIBIT H

Vicinity Map

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2003

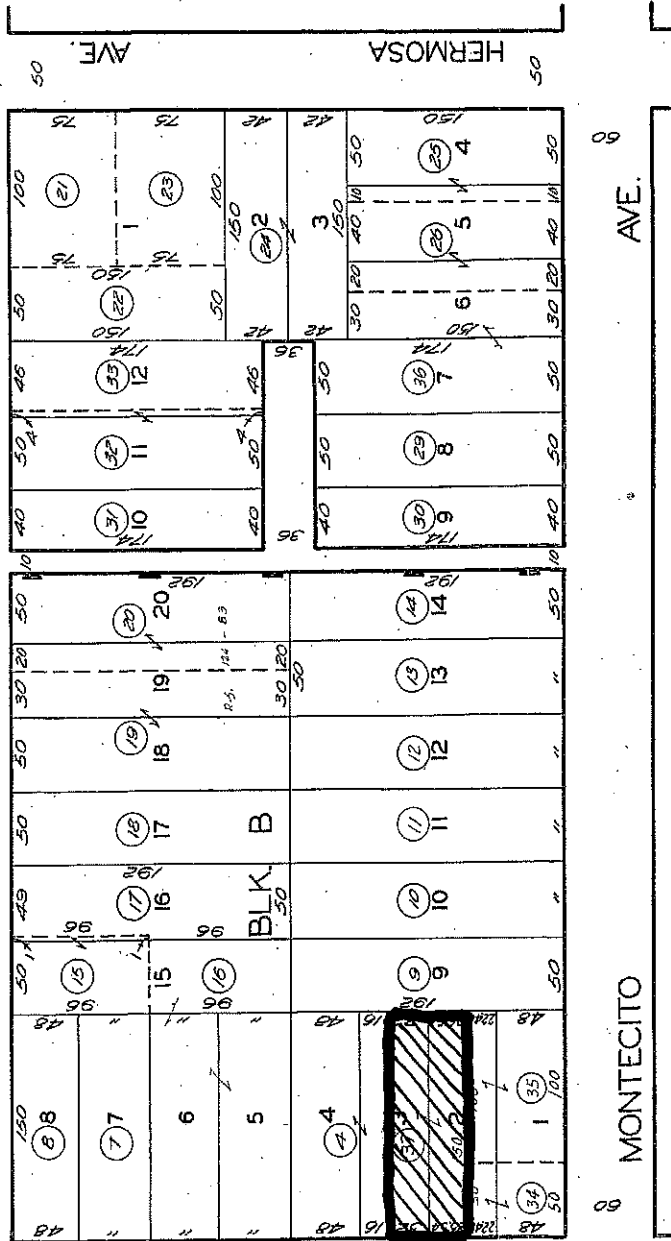
SCALE 1" = 80'

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3-9-61
4-4-61
9-25-61
5-14-62
7-18-64

200321/42700700-1-65

ADAMS ST.

HIGHLAND AVE.



86 N. LIMA

LIMA

7516

SPAULDING AND PINNEY'S SUBDIVISION M.R. 11-5
MRS. C.B. JONE'S SUBDIVISION M.R. 13-89

FOR PREV. ASSMT. SEE 303-33

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.