



Planning Commission **STAFF REPORT**

*Ken Goldstein, Chair
Gina Frierman-Hunt, Vice-Chair
Matthew Buckles, Commissioner
Manish Desai, Commissioner
Leslee Hinton, Commissioner
John Hutt, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director –
Planning & Community
Preservation*

DATE: June 16, 2016

TO: Planning Commission

FROM: Leticia Cardoso, Planning Manager

SUBJECT: **Conditional Use Permit 15-26 (CUP 15-26) to allow construction of a 2,905-square-foot, two-story single family residence on the property located at 86 N. Lima Street**

Executive Summary

The applicant, German Cortez, is requesting that the Planning Commission consider a Conditional Use Permit (CUP) to allow construction of a two-story, 2,905-square-foot, two-story single family residence on the property located at 86 N. Lima Street. Pursuant to SMMC Section 17.20.025.B, any new construction proposed to include a second story requires approval of a conditional use permit. Also, pursuant to SMMC Section 17.60.030.G, all development in the R-3 Zone requires approval of a conditional use permit.

At the May 19, 2016 meeting, the Planning Commission continued this item to provide the applicant with an opportunity to address a few remaining concerns, including the ceiling height of the second story, use of synthetic sod in the landscape, verification of the southern property line through a survey to confirm its location on the site plan, elimination of proposed cypress trees along the side property lines, and request for simulations along the south and north elevations. The applicant is returning with revised plans to address these issues.

Staff recommends that the Planning Commission approve Conditional Use Permit 15-26 (CUP 15-26) pursuant to Resolution 16-01, subject to conditions of approval.

BACKGROUND

After discussing this item at their May 19, 2016 meeting, the Planning Commission voted to continue it to give the applicant the opportunity to address the Planning Commission's concerns including the ceiling height of the second story, use of synthetic sod in the landscape, elimination of proposed cypress trees along the side property lines, and request for simulations along the front, south and north elevations. The Commission also asked the applicant to conduct a survey to verify the location of the south property line as it was brought to staff's attention by Mr. Derek Bush, the property owner on the southeast, that it was not accurately shown on the site plan in relation to the existing garage, wall and fence. Finally, the Commission suggested that the applicant darken or change the material of the area above the second story band around the entire structure to make it more grounded.

At the meeting, Commissioners Spears and Hinton requested clarification regarding the Public Works condition of approval requiring that the street trees be trimmed by the applicant rather than the City. Attached herein as Exhibit I is a copy of Code Section 12.20.070 ("Duty of abutting land owners to cultivate trees on public property") outlining the responsibilities of property owners with regards to planting areas within public right-of-way adjacent to their property. Public Works Director Bruce Inman further clarified that, while the City does trim trees on a grid basis, this is accomplished at a very slow pace due to lack of funding. Consequently, the primary responsibility lies with the property owner pursuant to the abovementioned code section.

Regarding the Public Works condition requiring the sidewalk to be replaced by the property owner, please note that the State of California Streets and Highways Code Sections 5610-5612, attached herein as Exhibit J, requires property owners to keep sidewalks adjacent to their property in good repair. Additional Sections spell out a process under which the local agency can direct the property owner to make the repairs. As such, the City can require that this work to be done as a condition of approval, and is advising the property owners that they can participate in the Sidewalk Improvement Partnership Program¹ to help offset the costs to fulfill this condition if they wish to do so.

The Planning Commission Staff Report from the May 19, 2016 meeting is attached herein for reference as Exhibit H.

¹ In 2010, the Sierra Madre City Council approved this pilot program to allow residents to share in the cost of sidewalk installation, repair or replacement. In this program, the property owner covers the cost of the concrete and other replacement materials while the city covers the cost of the labor and equipment needed to perform the task (demolish and haul off existing sidewalk, trim tree roots, and construction of new sidewalk).

Revised Proposal

Revised plans, attached as Exhibit B, show the following revisions:

- 1) Reduction of Second Story Ceiling Height and Building Height:
The second floor ceiling top plate was lowered 12 inches as shown on the attached site plan. Consequently, the building height was lowered from 22 feet 9 inches to 21 feet 9 inches.
- 2) All cypress trees have been removed, and a privacy hedge has been added along the south property line.
- 3) The synthetic sod in the front yard was replaced with Dune Sedge ('Carex pansa'), a drought-tolerant ground cover.
- 4) Property line along south side:
The applicant has revised the site plan based on a survey to accurately show the location of the south property line in relation to the existing wall and fences; please note that this has not resulted in the need to revise the side yard setback as originally proposed.
- 5) The total square footage of the residence was originally proposed at 2,895 square feet but has been increased to 2,905 square feet (the maximum allowable floor area is 2,907 square feet.)
- 6) Darker color provided above band around entire 2nd story.

Revised Street Elevation and Front Yard Setback Comparisons are included herein as Exhibits D and E, respectively.

Please note that the applicant has provided revised simulations of the front elevation, included herein as Exhibit F, but will also provide 3-D simulations of the north and south elevations as requested by the Commission prior to or at the Planning Commission meeting.

Also, in addition to the elevations provided in the site plan, the applicant has provided two alternative sets of elevations for the Commission's consideration showing reduced use of the exterior brick veneer (please refer to Exhibit G). One alternative shows the complete elimination of veneer along the rear elevation and some reduction in veneer along the south and north elevations whereas the other alternative includes brick veneer only on the front porch columns.

ANALYSIS/ FINDINGS

The granting of a CUP is subject to the following findings pursuant to Code Section 17.60.040:

- A. That the site for the proposed use is adequate in size, shape, topography, and location;** in that the topography of the lot is predominantly flat therefore requiring only minimal grading for the proposed residence. The site is located in the R-3 Zone, which allows single-family residential development pursuant to R-1 Zone standards, and the site size, shape, topography are adequate in meeting zoning requirements including allowable gross floor area, angle plane requirement, and maximum allowable height. The location of the property is adequate for a single-family residence in that it is surrounded by other residential uses, and it is currently developed with a single-family residence.
- B. That the site has sufficient access to streets which are adequate, in width and pavement type, to carry the quantity and quality of traffic generated by the proposed use;** in that Lima Street is approximately 60 feet wide which is a standard width for residential areas. The proposed project involves demolition of the existing single-family residence and replacement with a new single-family residence, therefore the use will remain the same will not result in more traffic than as currently generated.
- C. That the proposed use is neither detrimental to the public health, safety and general welfare, nor will unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties;** in that it meets zoning development standards of height, setbacks, floor area, lot coverage, and parking. The applicant has reduced the square footage of the second story and increased its south side yard setback so as to minimize view and privacy impacts to the properties located south of the property. The applicant has also reduced the number of windows overlooking the adjacent one-story properties on the south and will use opaque window glass to address any privacy concerns.
- D. That there is a demonstrated need for the use requested;** in that the proposed use is single-family residential as is the current use. The existing residence is an older structure in need of extensive repair and the applicant wishes to increase the value and usability of the property by replacing it with a residence that provides modern features and amenities, including a 2-car garage which is required by code.
- E. That the proposed use is consistent with the general plan, zoning and any applicable design standards;** in that the proposed use as a single family residence is

consistent with the current use of the site as well as the R-1 zoning standards as required in the R-3 Zoning Ordinance.

F. That the use at the location requested would benefit the public interest and convenience; in that single-family residential properties serve the needs of the City when such projects are consistent with the General Plan and development guidelines of the Zoning Ordinance. The proposed project would continue to be used for single-family residential purposes in the R-3 Multiple Family Residential Zone which allows single-family residential uses.

Additional burden of proof for permits for certain noted projects pursuant to Code Section 17.20.041.

Before a conditional use permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

A. That the height, bulk, scale, mass and siting of the proposed project be compatible with the existing neighborhood, landforms and surroundings.

The proposed two-story residence conforms to all R-1 requirements, including height, maximum floor area, setbacks and lot coverage, and is compatible with the existing neighborhood, which consists of one-story single-family homes and two-story multi-family buildings. The scale of the residence and the generous second-story setback along the south side provide an appropriate transition from the neighboring two-story structures to the adjacent one-story structures. The siting of the residence is consistent with the location of the neighboring structures and provides setbacks above those required by code.

B. That the proposed project reflects the scale of the neighborhood in which it is proposed and that it does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from the foothill village setting.

The two-story residence is consistent with the one- and two-story residential character of the adjacent neighborhood. Moreover, the 21-foot, 9-inches-high structure is of a typical height for two-story residential structures, and the maximum height allowed by code. The second-story setback on the south is well in excess of that required by code, so it will not visually overpower or impact the privacy of the neighboring one-story properties on the south. The project design is well-proportioned relative to the site as well as to the foothill village setting of Sierra Madre, and will not overpower or dominate the neighborhood.

- C. That the proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts.**

The residence does not unreasonably interfere with public views or the views and privacy of neighbors as the 21-foot, 9-inches-high height is typical of second stories and below the maximum height allowed by code. The north elevation only includes two small windows with opaque glass, therefore minimizing privacy impacts to the apartment building on the north, and the subject site is slightly lower, thereby helping to reduce impacts to southerly views from that property. In addition, the side yard setback along the south side of the residence is well in excess of that required by code, thereby minimizing any view or privacy impacts to the properties on the south.

The single-family use is not expected to produce noise levels beyond those typically associated with single-family residential uses, nor will it cause material adverse impacts to the single- and multi-family residential zone where it is located.

- D. That the proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible.**

The design of the proposed residence is inspired by the Prairie style of architecture and is consistent throughout the structure in the use of design features, color, and material finishes.

- E. For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height pursuant to Section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible.**

This finding is not applicable as the applicant is not seeking relief from development standards.

- F. For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B), or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, of:**

1. Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, generic, or “cookie-cutter” plans;
2. Where applicable, adaptive reuse or other preservation and restoration of historic structures;
3. Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected and specimen trees;
4. Siting of structures in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;
5. High quality architectural details and building materials compatible with the overall project design; and
6. Sustainable building and landscaping practices, especially water-saving features.

This finding is not applicable as the conditional use permit is not requested to exceed the thresholds established in Sections 17.20.025.C or 17.30.040.B.

ENVIRONMENTAL

The proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 Existing Facilities (I)(1) of the California Environmental Quality Act (CEQA) as it involves the removal of a single-family residence. The project also qualifies for a Class 3 Categorical Exemption, pursuant to Section 15303(a) New Construction or Conversion of Small Structures of CEQA as it involves the construction of a new single-family residence.

ALTERNATIVES

The Planning Commission can:

1. Approve the application for Conditional Use Permit 15-26, pursuant to Planning Commission Resolution 16-01 included herein with conditions.
2. Deny the application for Conditional Use Permit 15-26, and direct staff to draft a Resolution for the Commission’s consideration at the next meeting, specifying those findings that cannot be made.
3. Continue the subject project, and provide the applicant with direction.

RECOMMENDATION

Staff recommends that the Planning Commission approve CUP 15-26 pursuant to Planning Commission Resolution 16-01, with conditions.

Prepared By:



Leticia Cardoso
Planning Manager

Attachments:

1. Exhibit A: Planning Commission Resolution 16-01
2. Exhibit B: Revised Site Plan
3. Exhibit C: List of Changes from Applicant
4. Exhibit D: Revised Street Elevation Comparison
5. Exhibit E: Revised Front Yard Setback Comparison
6. Exhibit F: 3D Simulations of Front Elevation
7. Exhibit G: Alternative Brick Veneer Finishes
8. Exhibit H: Staff Report – May 19, 2016 Planning Commission meeting
- Exhibit I: Municipal Code Section 12.20.070 ("Duty of abutting land owners to cultivate trees on public property.")
9. Exhibit J: State of California Streets and Highways Code Sections 5610-5612

EXHIBIT A

Planning Commission Resolution 16-01

PC RESOLUTION 16-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE APPROVING CONDITIONAL USE PERMIT 15-26 TO ALLOW THE CONSTRUCTION OF A 2,905-SQUARE-FOOT, TWO-STORY SINGLE FAMILY RESIDENCE ON THE PROPERTY LOCATED AT 86 N. LIMA STREET

THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE DOES HEREBY RESOLVE:

WHEREAS, an application for a Conditional Use Permit was filed by:

**German Cortez
1168 San Gabriel Blvd., Suite P
Rosemead, CA 91077**

WHEREAS, the request for a CONDITIONAL USE PERMIT can be described as:

A request for a conditional use permit to allow the construction of a two-story, 2,905-square-foot, two-story single family residence on the property located at 86 N. Lima Street. Pursuant to SMMC Section 17.20.025.B, any new construction proposed to include a second story requires approval of a conditional use permit. Also, pursuant to SMMC Section 17.60.030.G, all development in the R-3 Zone requires approval of a conditional use permit.

WHEREAS, the Planning Commission has received the report and recommendations of staff;

WHEREAS, notice was duly given of the public hearing on the matter, which public hearing was held before the Planning Commission on April 7, 2016, and continued to May 19 and June 16, 2016, with all testimony received being made part of the public record;

WHEREAS, the proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 Existing Facilities (I)(1) of the California Environmental Quality Act (CEQA) as it involves the removal of a single-family residence. The project also qualifies for a Class 3 Categorical Exemption, pursuant to Section 15303(a) New Construction or Conversion of Small Structures of CEQA as it involves the construction of a new single-family residence.

NOW THEREFORE, in consideration of the evidence received at the hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission now finds as follows:

A. That the site for the proposed use is adequate in size, shape, topography, and location; in that the topography of the lot is predominantly flat therefore requiring

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June 16, 2016

only minimal grading for the proposed residence. The site is located in the R-3 Zone, which allows single-family residential development pursuant to R-1 Zone standards, and the site size, shape, topography are adequate in meeting zoning requirements including allowable gross floor area, angle plane requirement, and maximum allowable height. The location of the property is adequate for a single-family residence in that it is surrounded by other residential uses, and it is currently developed with a single-family residence.

B. That the site has sufficient access to streets which are adequate, in width and pavement type, to carry the quantity and quality of traffic generated by the proposed use; in that Lima Street is approximately 60 feet wide which is a standard width for residential areas. The proposed project involves demolition of the existing single-family residence and replacement with a new single-family residence, therefore the use will remain the same will not result in more traffic than as currently generated.

C. That the proposed use is neither detrimental to the public health, safety and general welfare, nor will unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties; in that it meets zoning development standards of height, setbacks, floor area, lot coverage, and parking. The applicant has reduced the square footage of the second story and increased its south side yard setback so as to minimize view and privacy impacts to the properties located south of the property. The applicant has also reduced the number of windows overlooking the adjacent one-story properties on the south and will use opaque window glass to address any privacy concerns.

D. That there is a demonstrated need for the use requested; in that the proposed use is single-family residential as is the current use. The existing residence is an older structure in need of extensive repair and the applicant wishes to increase the value and usability of the property by replacing it with a residence that provides modern features and amenities, including a 2-car garage which is required by code.

E. That the proposed use is consistent with the general plan, zoning and any applicable design standards; in that the proposed use as a single family residence is consistent with the current use of the site as well as the R-1 zoning standards as required in the R-3 Zoning Ordinance.

F. That the use at the location requested would benefit the public interest and convenience; in that single-family residential properties serve the needs of the City when such projects are consistent with the General Plan and development guidelines of the Zoning Ordinance. The proposed project would continue to be used for single-family residential purposes in the R-3 Multiple Family Residential Zone which allows single-family residential uses.

Additional burden of proof for permits for certain noted projects pursuant to Code Section 17.20.041.

Before a conditional use permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

A. That the height, bulk, scale, mass and siting of the proposed project be compatible with the existing neighborhood, landforms and surroundings.

The proposed two-story residence conforms to all R-1 requirements, including height, maximum floor area, setbacks and lot coverage, and is compatible with the existing neighborhood, which consists of one-story single-family homes and two-story multi-family buildings. The scale of the residence and the generous second-story setback along the south side provide an appropriate transition from the neighboring two-story structures to the adjacent one-story structures. The siting of the residence is consistent with the location of the neighboring structures and provides setbacks above those required by code.

B. That the proposed project reflects the scale of the neighborhood in which it is proposed and that it does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from the foothill village setting.

The two-story residence is consistent with the one- and two-story residential character of the adjacent neighborhood. Moreover, the 21-foot, 9-inches-high structure is of a typical height for two-story residential structures, and the maximum height allowed by code. The second-story setback on the south is well in excess of that required by code, so it will not visually overpower or impact the privacy of the neighboring one-story properties on the south. The project design is well-proportioned relative to the site as well as to the foothill village setting of Sierra Madre, and will not overpower or dominate the neighborhood.

C. That the proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts.

The residence does not unreasonably interfere with public views or the views and privacy of neighbors as the 21-foot, 9-inches-high height is typical of second stories and below the maximum height allowed by code. The north elevation only includes two small windows with opaque glass, therefore minimizing privacy impacts to the apartment building on the north, and the subject site is slightly lower, thereby helping to reduce impacts to southerly views from that property. In addition, the side yard setback along the south side of the residence is well in excess of that required by code, thereby minimizing any view or privacy impacts to the properties on the south.

The single-family use is not expected to produce noise levels beyond those typically associated with single-family residential uses, nor will it cause material adverse impacts to the single- and multi-family residential zone where it is located.

- D. That the proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible.**

The design of the proposed residence is inspired by the Prairie style of architecture and is consistent throughout the structure in the use of design features, color, and material finishes.

- E. For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height pursuant to Section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible.**

This finding is not applicable as the applicant is not seeking relief from development standards.

- F. For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B), or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, of:**

- 1. Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, generic, or “cookie-cutter” plans;**
- 2. Where applicable, adaptive reuse or other preservation and restoration of historic structures;**
- 3. Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected and specimen trees;**
- 4. Siting of structures in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;**
- 5. High quality architectural details and building materials compatible with the overall project design; and**
- 6. Sustainable building and landscaping practices, especially water-saving features.**

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This finding is not applicable as the conditional use permit is not requested to exceed the thresholds established in Sections 17.20.025.C or 17.30.040.B.

PURSUANT TO THE ABOVE FINDINGS, IT IS RESOLVED that the Planning Commission APPROVES Conditional Use Permit 15-26, subject to the conditions of approval in Exhibit A, attached herein.

The approval is final, unless appealed to the City Council in writing within ten (10) days following the adoption of this Resolution, pursuant to the provisions of Section 17.60.120 of the Sierra Madre Municipal Code.

The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The Planning Commission Secretary shall certify to the adoption of this resolution, transmit copies of the same to the applicant and his counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

APPROVED, the 16th day of June, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Gina Frierman-Hunt, Vice-Chair
Sierra Madre Planning Commission

ATTEST:

Vincent Gonzalez, Director
Planning & Community Preservation Department

EXHIBIT A

CONDITIONS OF APPROVAL
CUP 15-26

General Conditions:

The applicant and property owners shall:

1. Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
2. Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
3. Execute and deliver to the City's Department of Planning & Community Preservation an Affidavit of Acceptance of Conditions on a form to be provided by such Department prior to submitting construction plans for 1st Plan Check to the City. This approval shall not be effective for any purpose until the Applicant complies with this condition.
4. To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant and property owners shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant and property owners shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Conditions:

The applicant and property owners shall:

1. Construct the project in substantial conformance with all applications and

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supporting materials presented to the Planning Commission on June 16, 2016. Inaccuracies and misrepresentations will be grounds for immediate revocation of the conditional use permit.

2. Submit construction plans, for 1st Plan Check within one (1) year of the date of this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.
3. Record a lot tie covenant in a form approved by the City Attorney to maintain the two legal lots that make up the project site as one parcel for purposes of development.
4. Applicant shall comply with the requirements of the Water Efficient Landscape Ordinance.

Public Works Conditions:

The applicant and property owners shall:

1. The increase in building coverage of the site exceeds 500 square feet, therefore Low Impact Development drainage standards apply. A drainage plan, prepared by a Civil Engineer is required.
2. All sidewalk is to be replaced across the property frontage.
3. Driveway approach is to be replaced.
4. Damaged curb and gutter is to be replaced.
5. Parkway trees shall be raised to meet City Municipal Code standards, crowns thinned per International Society of Arboriculture standards, and trees otherwise protected in place.

(end of conditions)

EXHIBIT B

Revised Site Plan

NEW DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024
APN # 5768-010-037



PROPOSED
STREET VIEW N LIMA

VIEW FROM LIMA & MONTECITO AVE (EXISTING)



FRONT VIEW (EXISTING)



SCOPE OF WORK	
- DEMOLISH EXISTING SINGLE FAMILY DWELLING, BUILT 1941	
- CONSTRUCT A 2 STORY SINGLE FAMILY DWELLING, ATTACHED 2-CAR GARAGE	
TOTAL OF 4 BEDROOMS AND 3 1/2 BATHS	
SHEET INDEX	
C-1	COVER SHEET
T-1	SITE PLAN
A-1	PROPOSED 1ST. FLOOR PLAN
A-2	PROPOSED 2ND. FLOOR PLAN
A-3	ELEVATIONS
A-4	COLOR ELEVATIONS

OWNER INFO:
CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:
PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

C.B. HOME DESIGN INC.
1168 SAN GABRIEL BLVD
SUITE P
ROSEMEAD, CA 91770
PHONE: (626) 279-5657
EMAIL: CBHOME626@GMAIL.COM

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

JOB NUMBER:
CB15-086

DRAWN BY:
GC/JC/AO

3/32" = 1'-0"

REVISIONS:

SHEET TITLE:
SITE PLAN

SHEET NO:
C-1
1 OF 1



C.B. HOME DESIGN INC.
1158 SAN GABRIEL BLVD
SUITE P
ROSEMead, CA 91770
PHONE: (626) 279-8657
EMAIL: CBHOME26@gmail.com

THESE DRAWINGS AND SPECIFICATIONS, REVISIONS, AND ARRANGEMENTS ARE, AND SHALL REMAIN THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER INFO:

CYNTHIA LJ
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:

CB15086

DRAWN BY:

66736760

3/32" = 1'-0"

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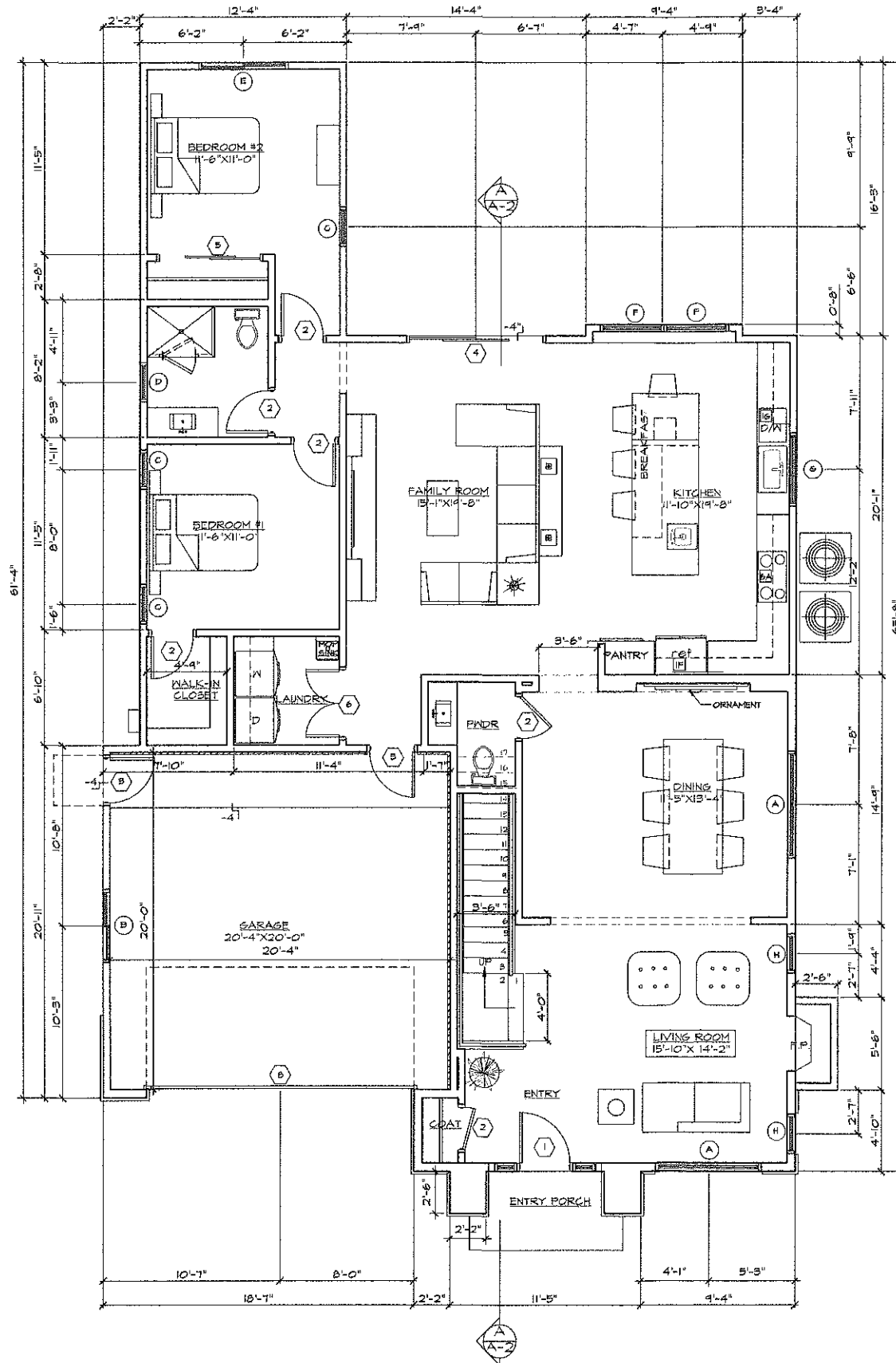
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PROPOSED 1ST. FLOOR PLAN
1/8" = 1'-0"

DOOR SCHEDULE

SYM.	QTY.	SIZE	THK.	TYPE	MATERIAL	REMARKS
1	1	8'-0" X 6'-8"	1 3/4"	SLIDING W/ SIDE LITES & TRANSOM	WOOD	(2) 1'-0" SIDE LITES 1'-0" TRANSOM
2	5	2'-6" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	
3	1	2'-0" X 6'-8"	1 3/4"	SWING S.C.D.	WOOD	SELF CLOSE, SELF LATCHING, TIGHT FIT
4	1	8'-0" X 6'-8"	1 3/4"	SLIDING DOOR	VINYL/ GLASS	
5	1	6'-0" X 6'-8"	1 3/8"	SLIDING DOOR	ALUM	
6	1	4'-0" X 6'-8"	1 3/8"	SWING DOUBLE	WOOD	LOUVER VENTED TOP TO BOTTOM
7	1	16'-0" X 8'-0"	1 3/4"	GARAGE DOOR	ALUM	GLAZED

WINDOW SCHEDULE

SYM.	QTY.	SIZE	TYPE	MATERIAL	U-FACT.	SHGC	REMARKS
A	2	6'-0" X 4'-6"	CASEMENT DEL.	VINYL	0.32	0.25	
B	1	4'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
C	5	4'-0" X 4'-0"	CASEMENT	VINYL	0.32	0.25	
D	1	2'-0" X 8'-0"	CASEMENT	VINYL	0.32	0.25	
E	1	5'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
F	2	9'-6" X 4'-6"	TILT & SWING	VINYL	0.32	0.25	
G	1	4'-0" X 4'-6"	HINGE	VINYL	0.32	0.25	
H	2	2'-0" X 5'-0"	CASEMENT	VINYL	0.32	0.25	

LEGEND

○ WINDOW CALL OUT	⊠ (N) 80"x80" ATTIC ACCESS W/30" MIN HEADROOM ABOVE
○ DOOR CALL OUT	⊠ 4" DIA DRYER VENT
⊙ SMOKE ALARMS TO BE WARD W/ BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL INTERLOCKED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.	⊙ 5 WAY SWITCH
⊙ CEILING MOUNTED LIGHT	⊙ EXHAUST FAN W/ HUBBARD CONTROL, CAPABLE OF PROVIDING 50 CFM EXTRACT TO TERMINATE TO THE OUTSIDE OF BUILDING. MEET ENERGY STAR COMPLIANT.
⊙ WALL MOUNTED LIGHT	⊙ 200 AMP ELECTRICAL PANEL
⊙ POLE SWITCH	⊙ DIMMER SWITCH
⊙ CEILING MOUNTED RECESSED LIGHT	⊙ CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN SLEEPING AREAS AND SLEEPING UNITS WITHIN EACH FUEL BURNING APPLIANCE ARE INSTALLED AND IN SLEEPING AREAS WITH ATTACHED GARAGES.
F FLUORESCENT	⊙ OUTLET 110 VOLTS REMANENT RESISTANT OUTLET REQUIRED IN KITCHEN, BEDROOMS, DINING ROOMS, BATHS, LIVING ROOMS, HALLS, AND RECREATION ROOMS.
H.E. HIGH EFFICIENCY	
P.C. PHOTOCELL	
⊠ TEMPERED SAFETY GLAZING	
⊠ HIDDEN RECESSED EMERGENCY EGRESS REQUIREMENTS: 44" MAX TO SILL, MIN 24" CLR HT, 20" CLR WTH, 57 SQ. FT. MIN. NET CLEAR OPENING.	

WALL SCHEDULE

NEW 2X STUD WALL	1 HOUR RATED WALL 5/8" GYP. BOARD, TYPE 'X' FLOOR TO ROOF
------------------	---

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE I.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS UNDO.
- EMERGENCY EGRESS PROVIDE THE FOLLOWING:
 - 57 SQ. FT. OF CLEAR OPENABLE AREA (50 AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24" MIN.
 - NET OPENING WIDTH SHALL BE 20" MIN.
 - FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR.
- 1-5/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- TANKLESS WATER HEATER PER T-24 REPORT.
 - MODEL: ROSEN RT6-RES/VI
 - INDOOR DIRECT VENT
 - 110000 BTU MAX
 - 45 GAL./MIN. @ 55° F RISE MAX. 14 GAL./MIN. AT 45° F RISE MAX
- RECESSED BELLAVISTA BRONZE MEDIUM GAS FIREPLACE
 - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 38" CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. EXIST IS LIMITED TO 14'-0" WITH TWO ELBOWS. SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO.
- 38" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. SHT. METAL SHUTTY PANEL.
- REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
- 24" WIDE DISHWASHER.
- ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD AT WALLS, CEILINGS, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS (1 HR. RATED CONSL).
- PROVIDE ONE-ARM FIRE RESISTIVE CONSTRUCTION W/ 30" TYP. 1/2" GYP. BD. AT SIDE AND SOFFIT OF ENCLOSED AREA UNDERSTAIR STAIR.
- 80" X 80" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 24" WIDE UNOBSTRUCTED PASSAGE W/ SOLID CORR. FLOOR FROM ATTIC ACCESS TO FLOOR. PROVIDE 30" CLR. IN FRONT OF THE DOOR, AND 30" CLR. HEAD ROOM. PROVIDE LIGHT AT EQUIP. WITH SWITCH TO ATTIC ACCESS.
- 32" X 80" SHIELDED GAS INLET TUB / SHOWER CONNECTION. SHOWER HEAD AT 18" A.F.F. PROVIDE SHOWER NOD. INSTALL PER MANUFACTURER SPECIFICATIONS.
- WATER CLOSET. PROVIDE 30" MIN. CLR. MINIMUM FROM CENTER TO EACH SIDE, AND 24" CLR. SPACE IN FRONT. FLOOR VENTILATION FOR LOW CONSUMPTION AND WATER SAVING WATER CLOSERS SHALL BE PROVIDED WITH A MAX. 100 GALLONS OF WATER PER FLUSH (60% A.O.C. 140.2).
- 42" X 12" ACRYLIC TUB OR EQUAL ON A RAISED WOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE 10". ENCLOSED MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURER SPECIFICATIONS.
- NON-MOUNTED SHOWER PAN WITH HUBBARD CERAMIC TILE / NATURAL STONE FLOOR FULL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 64" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE, 30" X CLEARANCE.
- FAN LOCATION IN ATTIC PROVIDE A MIN 30"x30" ACCESS, 24" WIDE WALKWAY AND 30" DEEP WALKWAY. PROVIDE 1/2" LIGHT OUTLET AND 10 PIVOTING SWITCH BY ATTIC ACCESS OPENING. A/C CONDENSER PER T-24 REPORT.
 - SHUTTER SHALL HAVE A MIN. 1/4" AIR SEAL AND RIGID INSULATION OF R-8
 - HEADS SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 60°F AT A POINT 5 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
- 24"x24" RETURN AIR REGISTER.
- RECESSED MEDICINE CABINET, 6" ABOVE CABINET.
- KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM.



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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:

CB15086

DRAWN BY:

GC/JC/AO

SCALE:

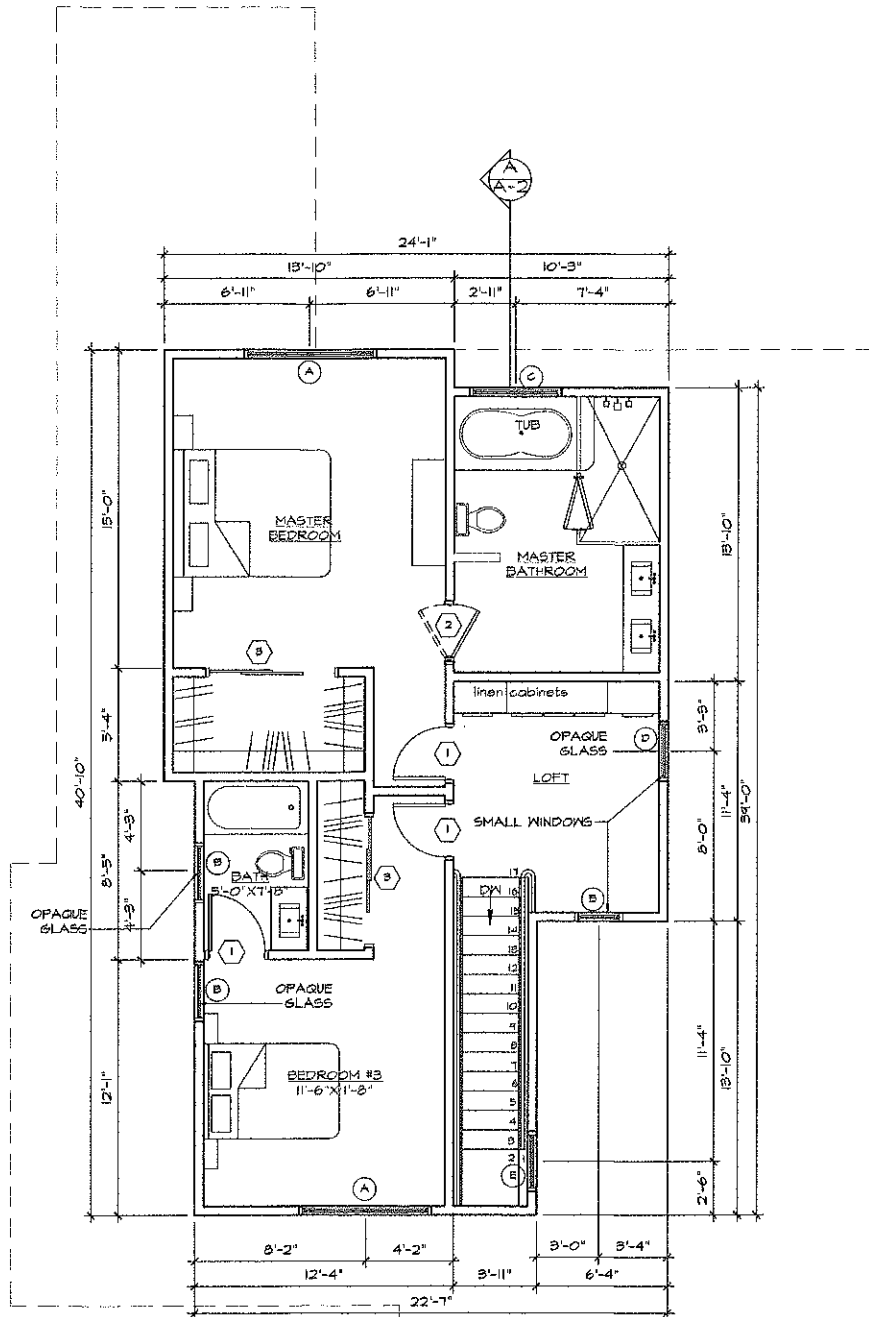
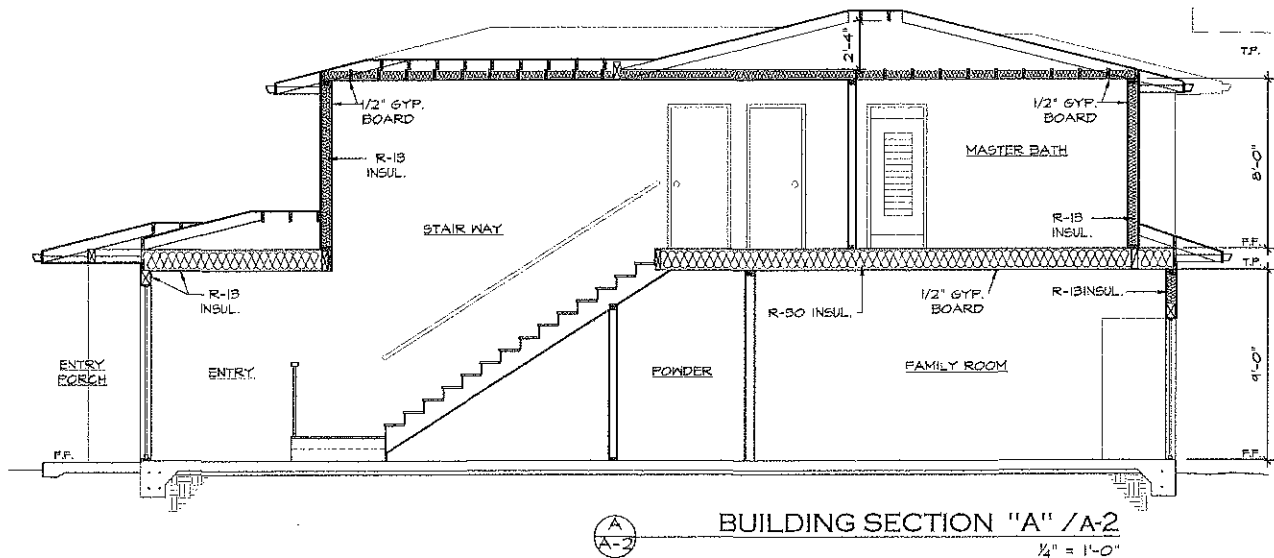
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:

PROPOSED 1ST. FLOOR PLAN

SHEET NO:



DOOR SCHEDULE

SYM.	QTY.	SIZE	THK.	TYPE	MATERIAL	REMARKS
1	3	2'-6\"	1 3/8\"	SWING S.C.D.	WOOD	
2	1	2'-6\"	1 3/8\"	SWING H.C.D. CUSTOM	WOOD	LOWEDED OR GLAZED TEMP.
3	1	6'-0\"	1 3/8\"	SLIDING H.C.D.	WOOD	

WINDOW SCHEDULE

SYM.	QTY.	SIZE	TYPE	MATERIAL	U-FACTR	SHGC	REMARKS
A	2	6'-0\"	CASEMENT DBL	VINYL	0.32	0.25	
B	3	2'-0\"	CASEMENT DBL	VINYL	0.32	0.25	
C	1	4'-0\"	CASEMENT DBL	VINYL	0.32	0.25	
D	1	2'-6\"	CASEMENT	VINYL	0.32	0.25	
E	1	2'-6\"	FIXED	VINYL	0.32	0.25	

LEGEND

○	WINDOW CALL OUT	⌘	(N) 30\"
○	DOOR CALL OUT	⌘	ACCESS W/30\"
⊙	SMOKE ALARMS TO BE HARD WIRED VIA BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.	⌘	4\" DIA DRYER VENT
⊙	CEILING MOUNTED LIGHT	⌘	3 WAY SWITCH
⊙	MALL MOUNTED LIGHT	⌘	EXHAUST FAN W/WHOLESALE CONTROL, CAPABLE OF PROVIDING 90 CFM, DUCTED TO THE OUTSIDE OF BUILDING. ENERGY STAR COMPLIANT
⊙	POLE SWITCH	⌘	200 AMP ELECTRICAL PANEL
⊙	CEILING MOUNTED RECESSED LIGHT	⌘	DIMMER SWITCH
F	FLUORESCENT	⌘	CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS PERISHABLE FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLINGS THAT HAVE ATTACHED GARAGES.
H.E.	HIGH EFFICIENCY	⌘	OUTLET NO VOLTS (OTHER RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, DEN, FAMILY ROOM, DINING ROOM, LIVING ROOMS, PARLORS, LIBRARY, BATHROOMS AND RECREATION ROOMS)
P.C.	PHOTOCELL	⌘	
⌘	TEMPERED SAFETY GLAZING		
⌘	WINDOW WITH SPURRING GLASS (RESISTANCE: 44\"		

WALL SCHEDULE

1 HOUR RATED WALL	1 HOUR RATED WALL
5/8\"	5/8\"
GYP. BOARD	GYP. BOARD
TYPE \"X\" FLOOR TO ROOF	TYPE \"X\" FLOOR TO ROOF

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE I.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8\"
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
 - 5.7 SQ. FT. OF CLEAR OPENABLE AREA (5.0 AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24\"
 - NET OPENING WIDTH SHALL BE 20\"
 - FINISHED SILL HEIGHT OF 44\" MAX. ABOVE FLOOR.
- 1-3/4\" SOLID CORE 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- REGENCY BELLAVISTA BROWNE MEDIUM GAS FIREPLACE - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 30\" CLR. DRYER SPACE. PROVIDE 4\" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0\" WITH TWO ELBOWS. (SHALL BE REPLACED 2'-0\" FOR EVERY ELBOW IN EXCESS OF TWO).
- 30\" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. SPT. METAL SWEET PAN.
- REFRIGERATOR SPACE. PROVIDE 36\" MIN. CLR. WITH COLD WATER CONNECTION.
- 24\" WIDE DISHWASHER.
- ONE LAYER 5/8\" TYPE \"X\" GYPSUM BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS. (1 HR. RATED CORB).
- PROVIDE ONE-PIECE FINE RESISTIVE CONSTRUCTION 1/4\" 3/4\" TYP. 1/4\" 3/4\" RD. AT SIDE AND SORTY OF ENCLOSED AREA UNDERSTAIRS.
- 50\" X 50\" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 24\" MIN. UNRESTRICTED PASSAGE IN SOLID CORR. FLOOR FROM ATTIC ACCESS TO FLOOR. PROVIDE 30\" CLR. IN FRONT OF THE SQUM, AND 30\" CLR. HEAD ROOM. PROVIDE LIGHT AT EQUIP. WITH SWITCH TO ATTIC ACCESS.
- 30\" X 50\" ENAMELED CAST IRON TUB / SHOWER COMBINATION. SHOWER HEAD AT 78\" A.F.D. PROVIDE SHOWER ROD. INSTALL PER MANUFACTURER SPECIFICATIONS.
- WATER CLOSET. PROVIDE 30\" MIN. CLR. FROM CENTER TO EACH SIDE AND 24\" CLR. SPACE IN FRONT. FLUSH VALVES FOR LONG-CONVENTION AND WATER SAVING WATER CLOSERS SHALL BE PROVIDED WITH A MAX. 128 GALLONS OF WATER PER FLUSH (GFCI 402.1.4.2.2.2).
- 42\" X 12\" ACRYLIC TUB OR EQUAL ON A RAISED HOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE 10\". ENCLOSURE MUST BE SAFETY GLAZED. INSTALL PER MANUFACTURER SPECIFICATIONS.
- NOT-HOODED SHOWER PAN WITH HIDESET CERAMIC TILE / NATURAL STONE FLOOR. FULL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 54\" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE. 30\" # CLEARANCE.
- FAN LOCATION IN ATTIC PROVIDE A MIN. 30\"X30\" ACCESS. 24\" RIDE HALLWAY AND 30\" DEEP WORK PLATFORM. PROVIDE DUCT EXHAUST OUTLET AND TO FURNACE SHUTTER BY ATTIC ACCESS OPENING. AND CONDENSER PER 1-24 REPORT.
- SYSTEM SHALL HAVE A MIN. 1/2\" SEER AND DUCT INSULATION OF R-8 - HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 60°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TDB.
- 24\"X36\" RETURN AIR REGISTER.
- RECESSED MEDICINE CABINET. 6\" ABOVE CABINET.
- KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM.



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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:

CB15085

DRAWN BY:

GC/JC/AD

SCALE:

1/4\"

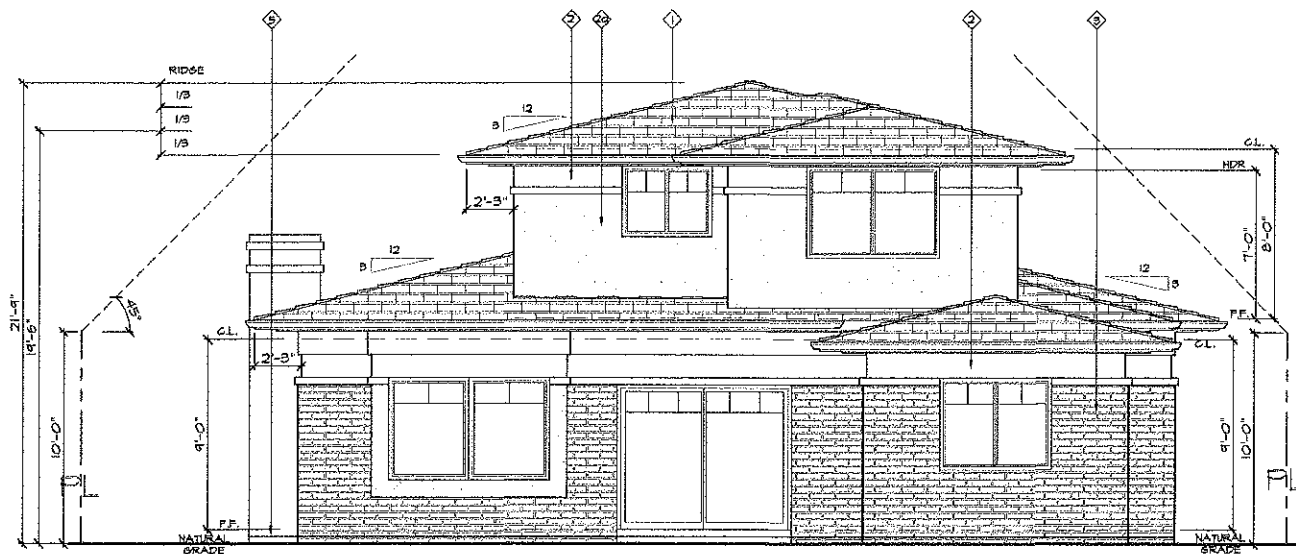
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SHEET TITLE:

PROPOSED 2ND FLOOR PLAN

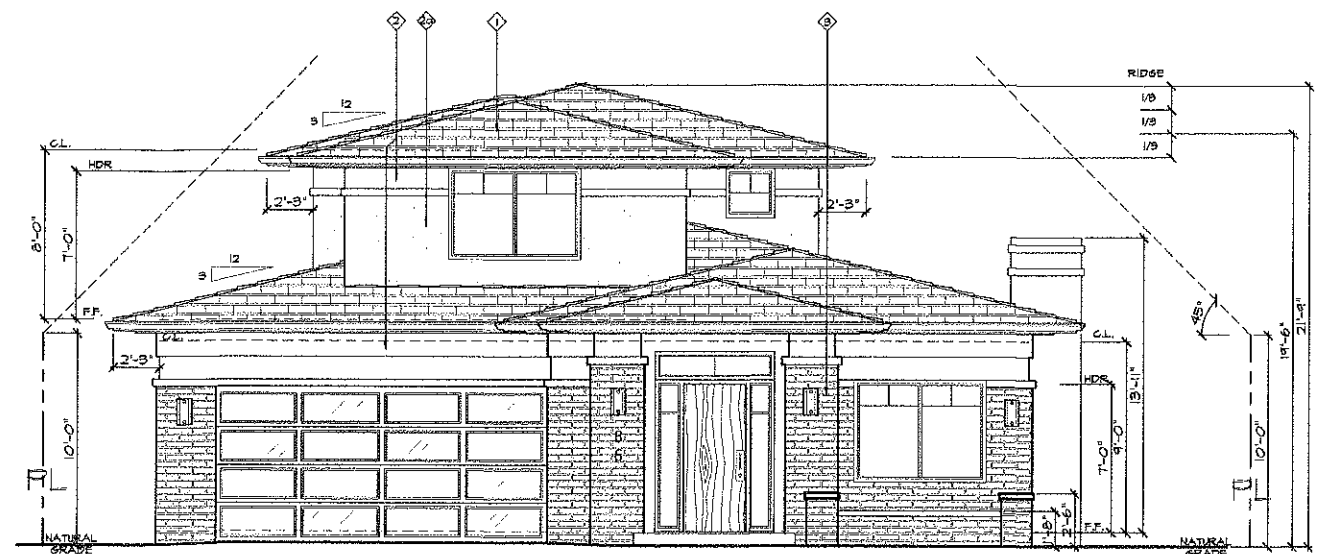
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3 OF 3



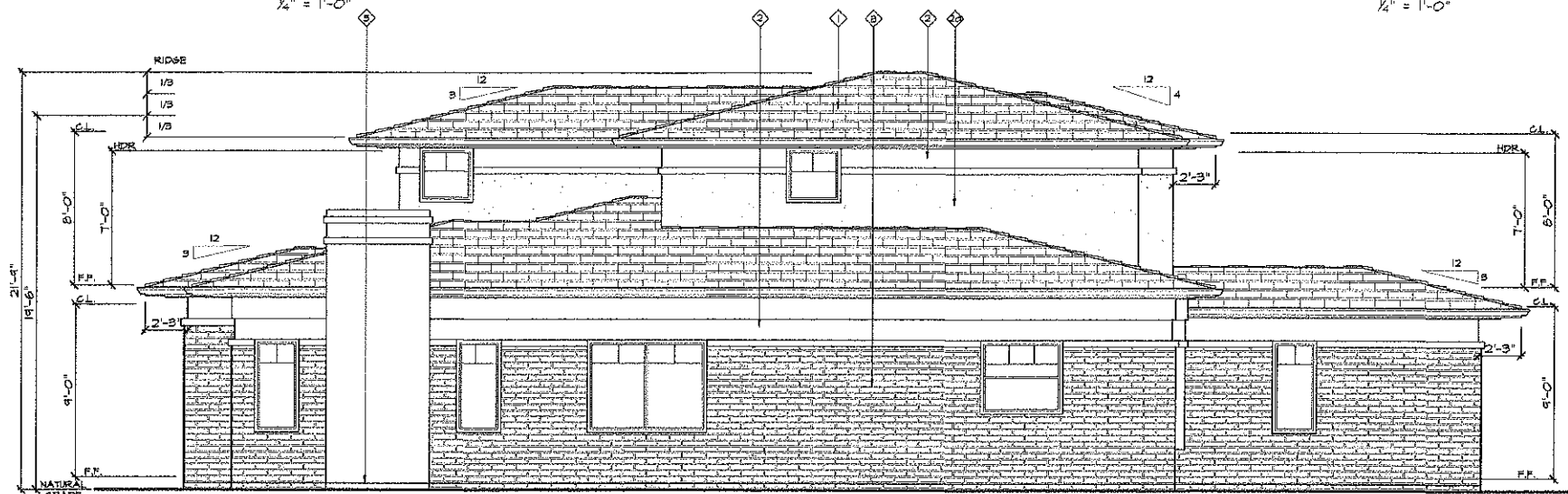
EAST/REAR ELEVATION

1/4" = 1'-0"



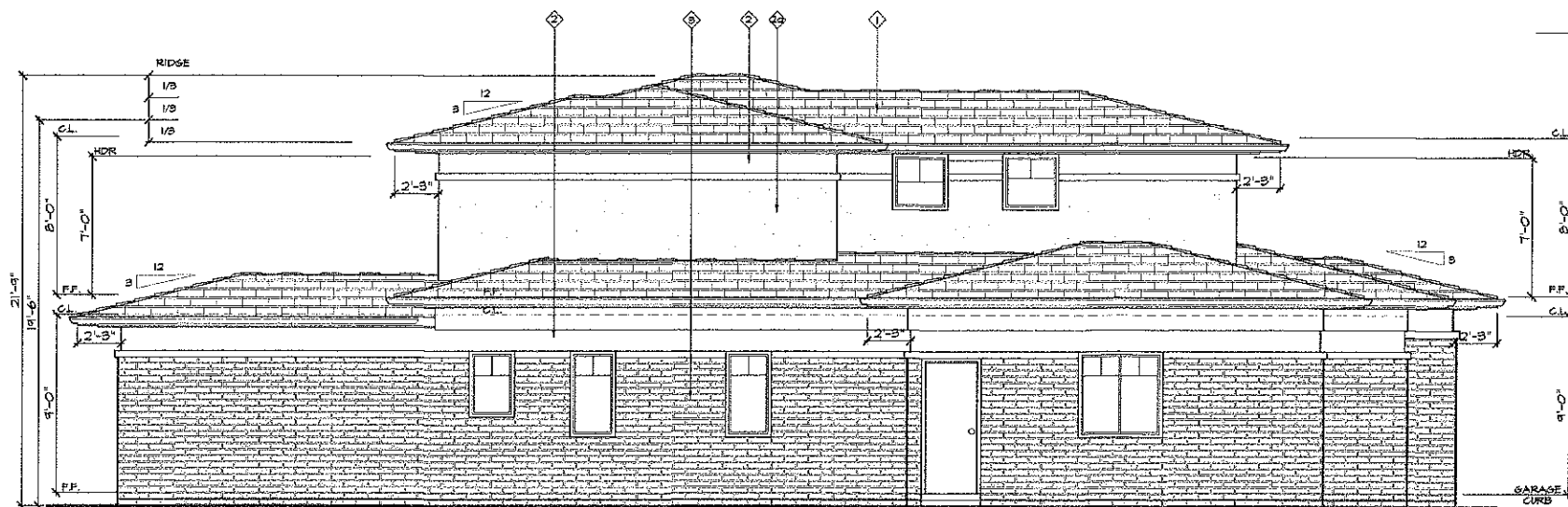
WEST/FRONT ELEVATION

1/4" = 1'-0"



SOUTH/RIGHT ELEVATION

1/4" = 1'-0"



NORTH/LEFT ELEVATION

1/4" = 1'-0"

KEY NOTES

- 1. IN ROOF - DAKOTA 300 CONC. TILE, CLASS A, ICC ESR 1847
COLOR - Dark Chestnut Blend
- 2. LA HABRA 3/4" STUCCO IV 2-LAYERS OF GRADE 17
COLOR - PURE IVORY
- 3. LA HABRA 3/4" STUCCO IV 2-LAYERS OF GRADE 17
COLOR - PURE IVORY, FRESH SAND FLOAT 88
- 4. VENEER 5/16" BRICK VENEER
- 5. NO. 26 GALVANIZED SHEET METAL KEEL SCREED & FOUNDATION PLATE



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OWNER INFO:

CYNTHIA LI
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SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:
CB15-086

DRAWN BY:
GC/JD/TAO

SCALE:
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
ELEVATIONS

SHEET NO:

A-3

4 of 4



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(REVISED)



WEST/FRONT ELEVATION
1/4" = 1'-0"



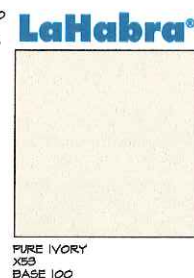
WEST/FRONT ELEVATION
1/4" = 1'-0"

FINISH KEY LEGEND

1 ROOFING

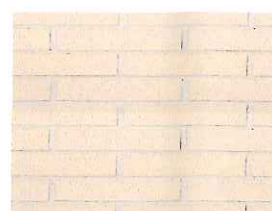


2 STUCCO OR SIMILAR



3

BRICK VENEER
8"x16" BRICK COLOR: CREAM



4 GUTTERS



Color & Inspiration - Colors
DARK ENGINE DE6350



KEY NOTES

1. (N) Boral - Saxony 900 CONC. TILE, CLASS A, ICC ESR 1641
COLOR: Dark Charcoal Blend
2. LA HABRA 3/8" STUCCO IV 2-LAYERS OF GRADE 'D'
COLOR: PURE IVORY, FINISH: MISSION
3. LA HABRA 3/8" STUCCO IV 2-LAYERS OF GRADE 'D'
COLOR: PURE IVORY, FINISH: SAND FLOAT
4. VENEER: EL DORADO STONE 'COASTAL REEF'
5. DUN EDWARDS: DARK ENGINE DE6350
6. NO. 26 GALVANIZED SHEET METAL KEEF SCREED @ FOUNDATION PLATE.

OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:

CB15-086

DRAWN BY:

GC/JC/AO

SCALE:

1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
COLOR ELEVATIONS
AND MATERIAL

SHEET NO:

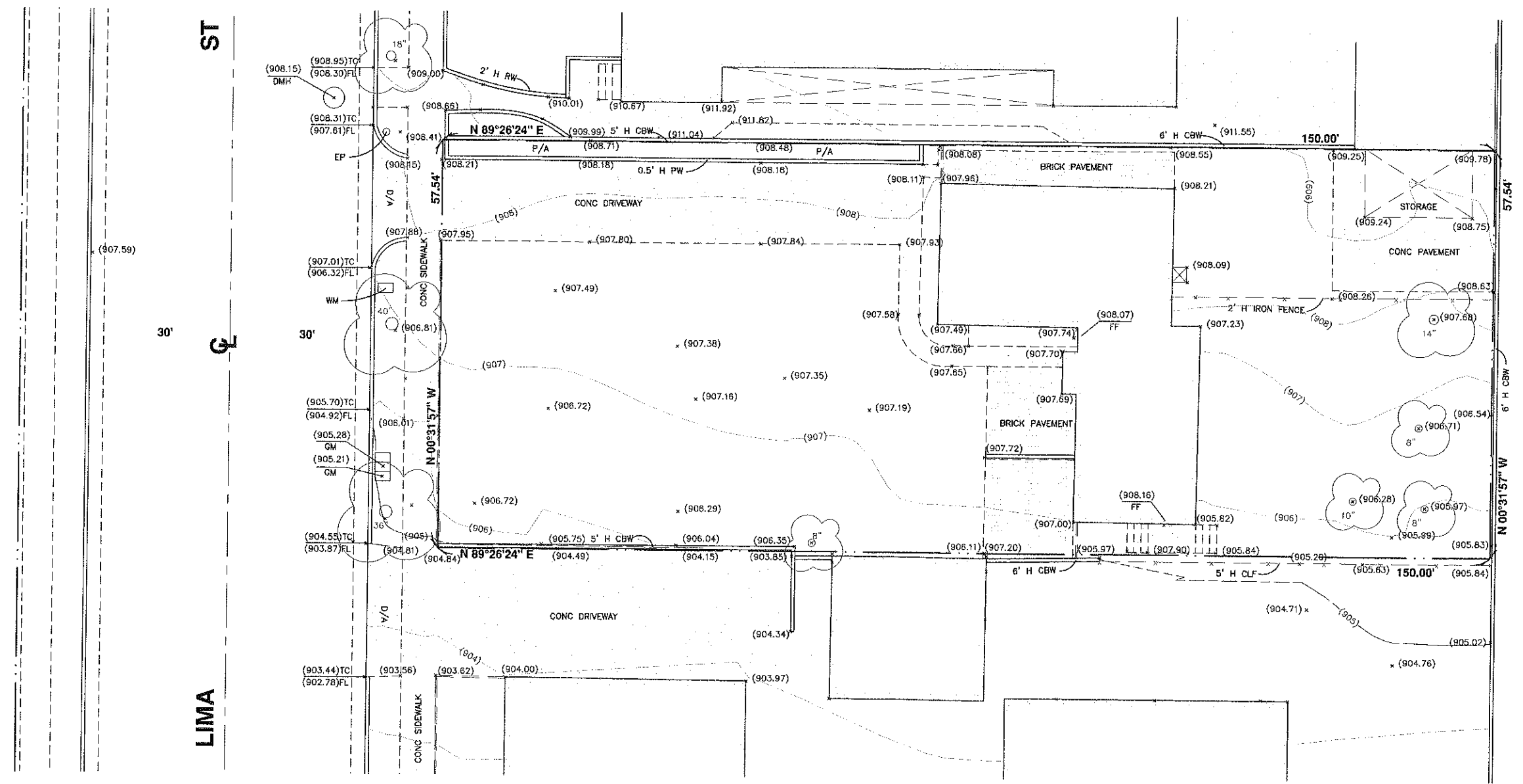
A-4

4 OF 4

TOPOGRAPHIC MAP



Scale: 1" = 8'



ABBREVIATIONS:

- CBW Conc. Block Wall
- CLF Chain Linked Fence
- CONC. Concrete
- D/A Driveway Apron
- EP Edison Pole
- EX. Existing
- FF Finish Floor Elevation
- FL Flow Line Elevation
- GM Gas Meter
- P/A Planter Area
- PW Plant Wall
- RW Retaining Wall
- SMH Sewer Manhole
- TC Top of Curb Elevation
- WM Water Meter

LEGEND:

- (100.10) Existing Elevation
- (99)--- Ex. Ground Contour Line
- X-X- Chain Link Fence
- o-o-o- Wrought Iron Fence
- [Structure] Ex. Structure
- (10'Ø) Ex. Tree, Diameter

BENCH MARK:

B.M. NUMBER: HC4732
ELEV. 875.842
YEAR 2005
DESCRIPTION: DPW BM TAG IN CB W/O BCR @ NW COR
SIERRA MADRE BLVD & LIMA ST.

LEGAL DESCRIPTION:

PARTIONS OF LOTS 2 AND 3 OF BLOCK B OF SPAULDING AND PINNEYS, IN THE CITY OF SIERRA MADRE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11 PAGE 5 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



TRANS AMERICAN
ENGINEERING

5341 LA MADERA AVE
EL MONTE, CALIFORNIA 91732
(626) 258-9330



TOPOGRAPHIC MAP

SCALE: 1"=8' APN: 5768-010-037 DATE: 5-24-2016

86 N LIMA ST,
SIERRA MADRE, CA 91024,

EXHIBIT C

List of Changes from Applicant

LIST OF CHANGES:

1. THE 2ND FLOOR CEILING TOP PLATE WAS LOWERED 12 INCHES
2. OVERALL HEIGHT OF THE BUILDING REDUCED FROM 22'-9" TO 21'-9"
3. ALL CYPRESS TREES ARE REMOVED.
4. A 5' TALL PRIVACY HEDGE IS ADDED TO THE PROPERTY LINE TO THE SOUTH.
6. SYNTHETIC SOD IS REPLACED WITH DROUGHT TOLERANT GROUND COVER "CAREX PANSA" (DUNE SEDGE)

RECEIVED

MAY 28 2016

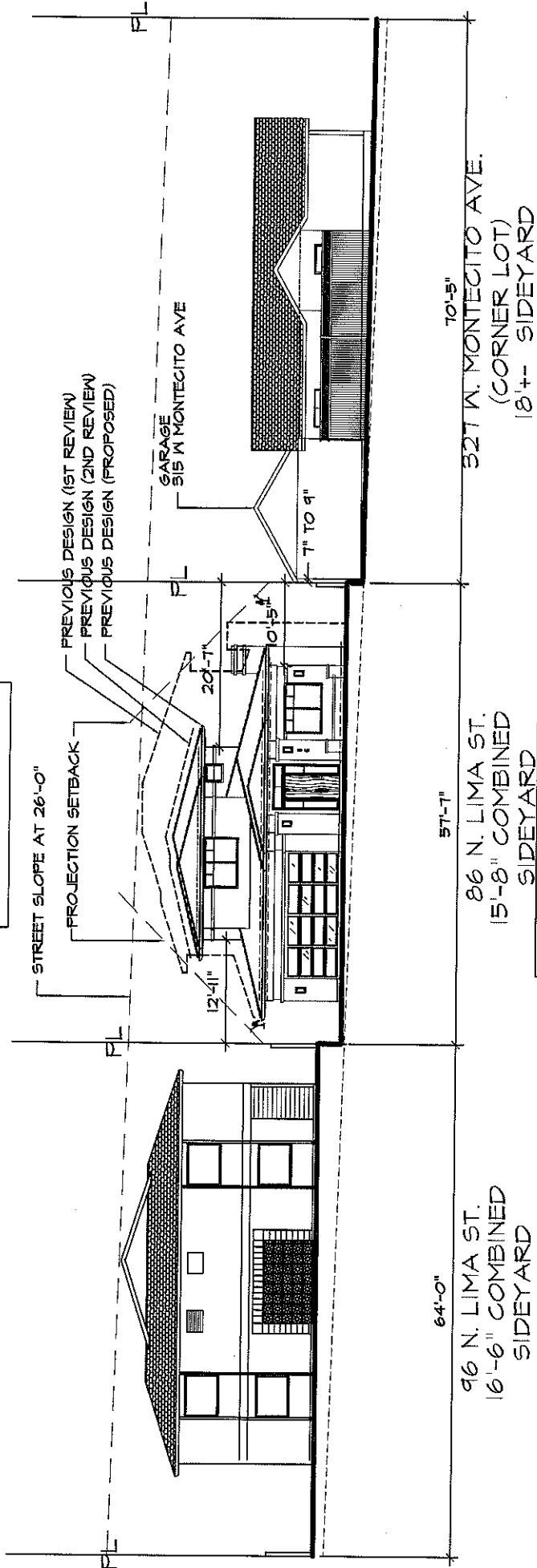
CITY OF SIERRA MADRE
PLANNING & BUILDING

EXHIBIT D

Revised Street Elevation Comparison

(REVISED) STREET ELEVATION

*1ST FLOOR CEILING AT 9'
2ND FLOOR CEILING AT 8'



33'-6" COMBINED 2ND
FLOOR SIDEYARD

EXHIBIT E

Revised Front Yard Setback Comparison

(REVISEL, FRONT YARD SET
BACK COMPARISON / MASS

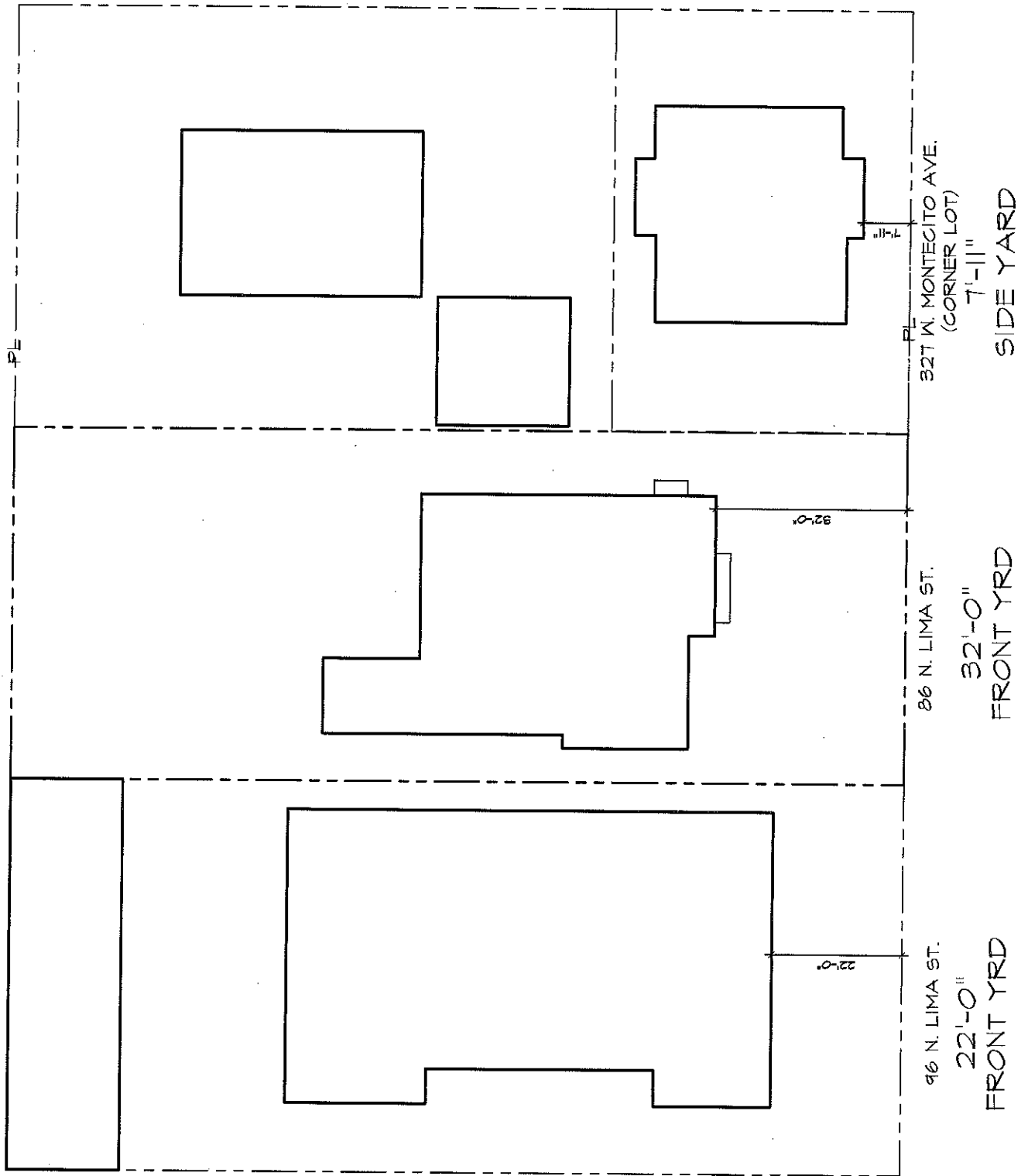


EXHIBIT F

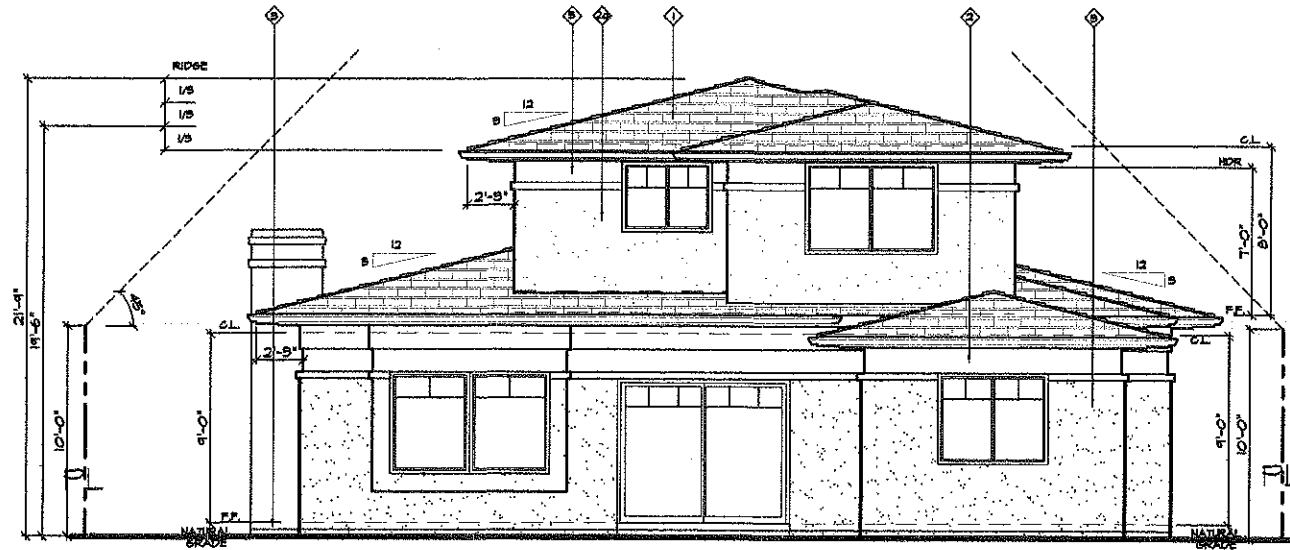
3D Simulations of Front Elevation



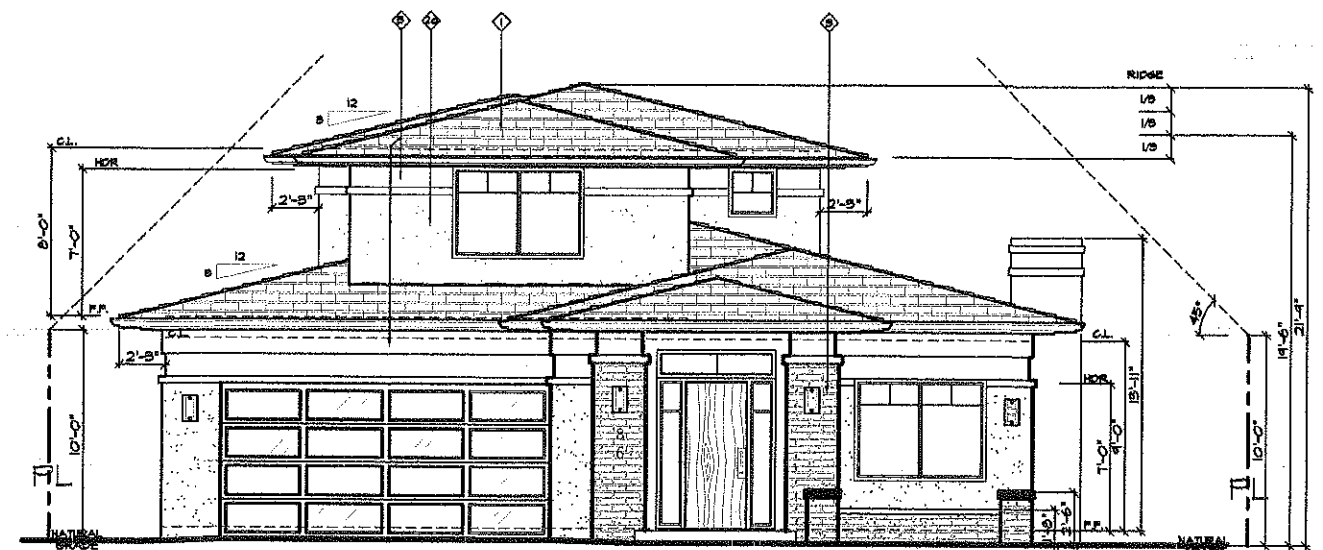


EXHIBIT G

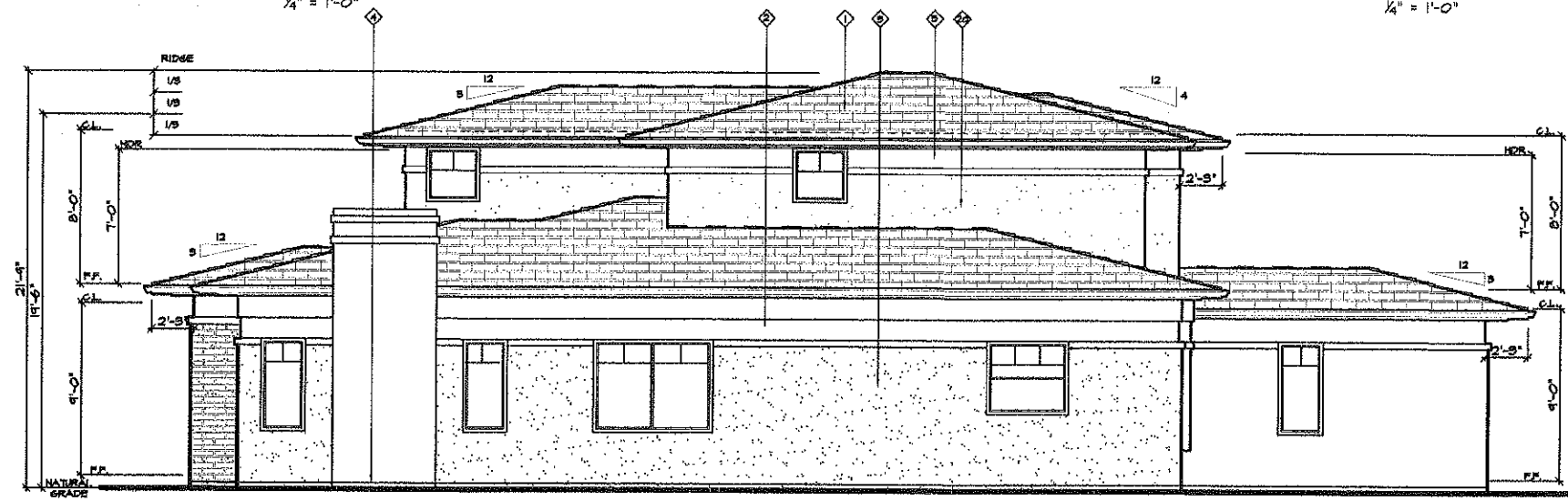
Alternative Brick Veneer Finishes



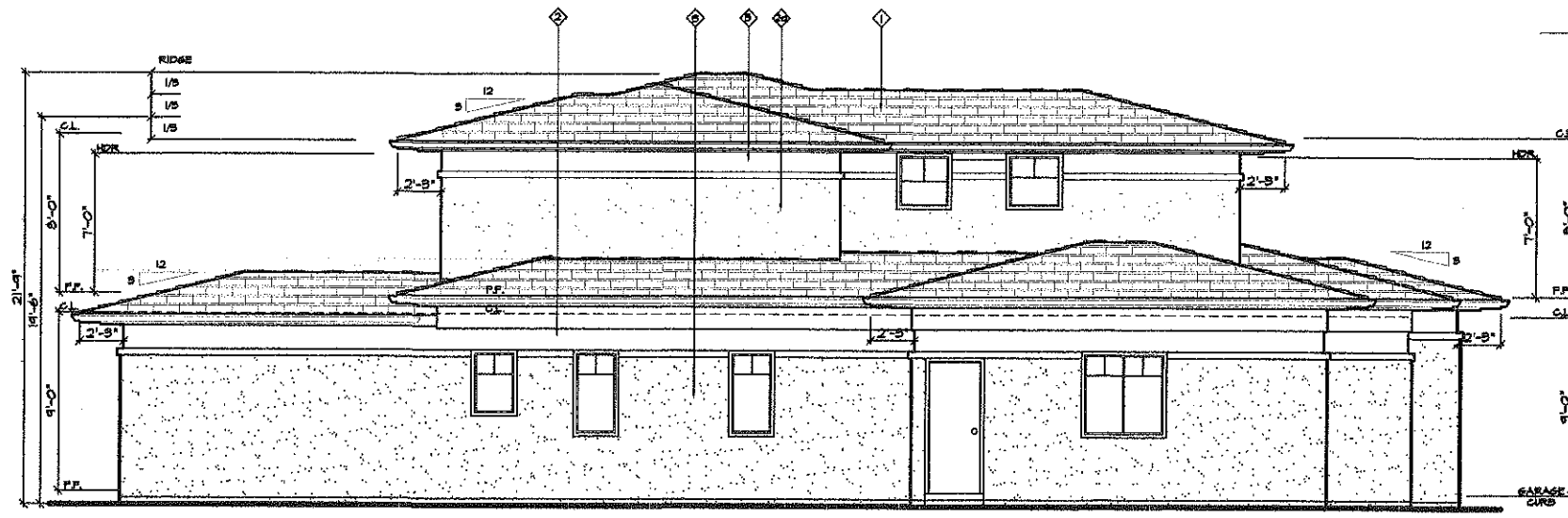
EAST/REAR ELEVATION
1/4" = 1'-0"



WEST/FRONT ELEVATION
1/4" = 1'-0"



SOUTH/RIGHT ELEVATION
1/4" = 1'-0"



NORTH/LEFT ELEVATION
1/4" = 1'-0"

KEY NOTES

- 1. NO BORAL - BAKERY 500 CONC. TILE CLASS A 100 ESR 1447 COLOR: Dark Charcoal Blend
- 2. LA HABRA 1/2" STUCCO IV 2-LAYERS OF GRADE IV COLOR: PURE IVORY
- 3. LA HABRA 1/2" STUCCO IV 2-LAYERS OF GRADE IV COLOR: PURE IVORY, FINISH SAND FLOAT #3
- 4. VENEER: 8x16" BRICK VENEER
- 5. NO. 26 GALVANIZED SHEET METAL PER SCREED & FOUNDATION PLATE.
- 6. LA HABRA 1/2" STUCCO IV 2-LAYERS OF GRADE IV COLOR: CHARLESTON



C.B. HOME DESIGN INC.
1168 SAN GABRIEL BLVD
SUITE F
ROSEMEAD, CA 91770
PHONE: (626) 279-5667
EMAIL: CBHOME626@GMAIL.COM

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OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED SINGLE FAMILY DWELLING
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

JOB NUMBER:

CB15-086

DRAWN BY:

GC/JC/AG

SCALE:

1/4" = 1'-0"

REVISIONS:

SHEET TITLE:

ELEVATIONS

SHEET NO:

A-3

4 OF 4

EXHIBIT H

Staff Report – May 19, 2016



Planning Commission **STAFF REPORT**

*Ken Goldstein, Chair
Gina Frierman-Hunt, Vice-Chair
Matthew Buckles, Commissioner
Manish Desai, Commissioner
Leslee Hinton, Commissioner
John Hutt, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director –
Planning & Community Preservation*

DATE: May 19, 2016

TO: Planning Commission

FROM: Leticia Cardoso, Planning Manager

SUBJECT: **Conditional Use Permit 15-26 (CUP 15-26) to allow construction of a 2,895-square-foot, two-story single family residence on the property located at 86 N. Lima Street**

Executive Summary

The applicant, German Cortez, is requesting that the Planning Commission consider a Conditional Use Permit (CUP) to allow construction of a two-story, 2,895-square-foot, two-story single family residence on the property located at 86 N. Lima Street. Pursuant to SMMC Section 17.20.025.B, any new construction proposed to include a second story requires approval of a conditional use permit. Also, pursuant to SMMC Section 17.60.030.G, all development in the R-3 Zone requires approval of a conditional use permit.

At the April 7, 2016 meeting, the Planning Commission continued this item to provide the applicant with an opportunity to address several concerns, including the bulk and mass of the residence, neighborhood compatibility, roof pitch, privacy/view impacts to adjacent properties, and the use of lawn in the landscaping. The applicant is returning with revised plans to address these issues.

Staff recommends that the Planning Commission introduce the item, allow public testimony, and continue CUP 15-26 to allow the applicant to further address the second story massing, compatibility, views and location of the south property line of the residence before returning to the Commission for consideration.

BACKGROUND

After discussing this item at their April 7, 2016 meeting, the Planning Commission voted to continue it to give the applicant, German Cortez, the opportunity to address the Planning Commission's concerns including the bulk and mass of the residence, neighborhood compatibility, and impacts to the privacy and views from neighboring properties, roof pitch and use of lawn in the landscaping.

The Planning Commission Staff Report from the April 7, 2016 meeting is attached herein for reference as Exhibit G.

Revised Proposal

Revised plans, attached as Exhibit A, show the following revisions:

1) *Reduction of Second Story Square Footage:*

As shown on the attached site plan, the square footage of the second floor was reduced from 988 sq.ft. to 785 sq.ft. by removing a master bedroom; the revised second story includes two master bedrooms and a new loft area added by the applicant.

2) *Increase of First Story Square Footage:*

A bedroom was added to the first story thereby increasing the floor area from 1,443 sq.ft. to 1,677 sq.ft.; the applicant redesigned a master bathroom into a Jack-and-Jill configuration to serve two bedrooms. Therefore, the total bedroom/bathroom count was revised from 4 bedrooms and 4.5 bathrooms to 4 bedrooms and 3.5 bathrooms.

3) *Overall reduction in building height and roof pitch:*

The roof height was reduced from 25 feet 10 inches to 22 feet 9 inches at the top of ridge and roof pitch was reduced from 4:12 to 3:12.

4) *Reduction in ceiling height and removal of double-height ceiling:*

The ceiling height on the first floor was reduced from 10 feet to 9 feet, and double-height ceilings were removed.

5) *Reduction in front and rear yard setbacks (first story):*

The first story was "stretched" resulting in a reduction of the front yard setback from 45 feet to 32 feet, and the rear yard from 59 feet 10 inches to 52 feet 4 inches.

6) *Increase in side yard setbacks (first story):*

The first story side yard setbacks were increased from 7 feet 6 inches to 10 feet 6 inches on the south side, and from 5 feet 7 inches to 7 feet 9 inches on the north side. The garage retained its side yard of 5 feet 7 inches as originally proposed.

7) Increase in side yard setbacks (second story):

The second story side yard setbacks were increased from 11 feet 1 inch to 20 feet 1 inch on the south side, and from 11 feet 1 inch to 12 feet 11 inches on the north side.

8) Cypress trees added along north and south property lines for privacy.

9) Front and rear yard lawns were replaced with synthetic sod and landscaping will be entirely drought tolerant.

The applicant also provided exhibits to reflect the project revisions, including a Front Yard Set Back Comparison, Neighborhood Floor Area Comparison, Street Elevation Comparison and a comparison of first and second floor footprints relative to the adjacent properties; the exhibits are included herein as Exhibits C through F. Please note that revised 3-D simulations will be provided under separate cover prior to the meeting.

Although the applicant has made several revisions to address the Commission's concern, staff is concerned that these are not sufficient in significantly reducing the bulk and mass of the structure and providing a gradual transition to the one-story, smaller scale residences located to the south.

The applicant relocated a master bedroom from the second story to the first story but took away from the floor area reduction by adding a loft, for a net reduction of only 203 square feet. The second story was narrowed to provide a wider side yard setback along the south elevation, but it was also elongated to maintain most of the original square footage, which in turn extended the bulk and mass along the south elevation and north elevations; staff is concerned that the elongated mass on the second story increases view impacts to the properties on the north and south. In addition, since the first story was only slightly narrowed, the combined effect of the first and second stories is that of a pronounced "wedding cake" appearance along the front and rear elevations.

Staff is also concerned that the bulk and mass of the second story continues to be unnecessarily exacerbated by the 10-foot ceiling height on that level, which has not been reduced to 9 feet as was done on the first story. This contributes to the appearance that the second story is looming over the front façade and causing it to appear disproportionally high compared to the first story. The higher and narrower second story creates an awkward relationship between the two levels, and it causes the structure to detract from the Prairie style of architecture.

Location of South Property Line

It has come to staff's attention that the location of the south property line as shown on the plans is not correct based on a survey prepared by the adjacent neighbor who owns the property located southeast of the project. Since this brings to question the south

side yard setback proposed by the applicant, staff has notified the applicant that a survey will be required to verify those setbacks.

ANALYSIS/ FINDINGS

The granting of a CUP is subject to the following findings pursuant to Code Section 17.60.040:

A. That the site for the proposed use is adequate in size, shape, topography, and location; in that the topography of the lot is predominantly flat therefore requiring only minimal grading for the proposed residence. The site is located in the R-3 Zone, which allows single-family residential development pursuant to R-1 Zone standards, and the site size, shape, topography are adequate in meeting zoning requirements including allowable gross floor area, angle plane requirement, and maximum allowable height. The location of the property is adequate for a single-family residence in that it is surrounded by other residential uses, and in fact it is currently developed with a single-family residence.

However, with respect to the south side yard setback, in light of the latest information received by staff regarding the accuracy of the property line on the site plan, staff cannot verify whether the setbacks shown on the plan can be provided for the residence as designed.

B. That the site has sufficient access to streets which are adequate, in width and pavement type, to carry the quantity and quality of traffic generated by the proposed use; in that Lima Street is approximately 60 feet wide which is a standard width for residential areas. The proposed project involves demolition of the existing single-family residence and replacement with a new single-family residence, therefore the use will remain the same will not result in more traffic than as currently generated.

C. That the proposed use is neither detrimental to the public health, safety and general welfare, nor will unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties; in that it meets zoning development standards of height, yard setbacks, floor area, lot coverage, and parking.

However, staff finds it difficult to make this finding as it relates to interference with the enjoyment of adjacent properties with respect to privacy and views. Pursuant to Code Section 17.20.010.E.1, 17.20.010.F and 17.20.010.G, residential development in the R-1 Zone should promote consideration of one another's valley and mountain views, neighbor's existing views, and appropriate scale of new construction that is compatible with the existing neighborhood and surroundings.

Staff is concerned with impacts to views from the second story of the proposed residence onto the adjacent properties on the north and south; properties on the south are not only single-story, but are located on a lower elevation which exacerbates the height differences between the two structures. The building on the north has existing views southward which are further impacted by the elongated second story mass.

In terms of compatibility of scale with surrounding development, the bulk and mass of the residence as proposed still does not appear to provide a gradual transition from the two-story apartment building on the north to the one-single story single-family residences on the south; further reducing the square footage and reducing the ceiling height of the second story would help reduce bulk and mass, the latter without reduction of square footage. The applicant should also consider expanding the footprint of the ground floor in order to transfer additional mass from the second story to provide a better transition from the two-story mass on the north to the one-story, smaller scale residences on the south. This would also reduce view impacts to the adjacent residences as the second story could be shortened.

D. That there is a demonstrated need for the use requested; in that the proposed use is single-family residential as is the current use. The existing residence is an older structure in need of repair and the applicant wishes to increase the value and usability of the property by replacing it with a residence that provides modern features and amenities, including a 2-car garage which is required by code.

E. That the proposed use is consistent with the general plan, zoning and any applicable design standards; in that the proposed use as a single family residence is consistent with the site's current use as well as the R-1 Zone standards as required in the R-3 Zoning Ordinance.

However, staff finds it difficult to make this finding with respect to Objective L24 of the General Plan Residential – Medium/High Density land use designation which requires developments that are compatible in scale with existing development. The residence as proposed still does not appear to provide a gradual transition from the two-story apartment building on the north to the one-single story single-family residences on the south. The applicant may want to consider expanding the footprint of the ground floor in order to transfer additional mass from the second story to provide a better transition from the two-story mass of the adjacent apartment building to the one-story, smaller scale residences on the south. Furthermore, a reduction in second story ceiling height will also help reduce bulk and mass without a floor area reduction.

F. That the use at the location requested would benefit the public interest and convenience; in that single-family residential properties serve the needs of the City when such projects are consistent with the General Plan and development guidelines.

The proposed project would continue to be used for single-family residential purposes in the R-3 Multiple Family Residential Zone which allows single-family residential uses.

Additional burden of proof for permits for certain noted projects pursuant to Code Section 17.20.041.

Before a conditional use permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

A. That the height, bulk, scale, mass and siting of the proposed project be compatible with the existing neighborhood, landforms and surroundings.

Staff finds it difficult to make this finding with regard to compatibility of the two-story residence with the adjacent one-story homes located downslope from the subject property. Staff is concerned that the bulk and elongated mass of the second story impacts the mountain views of the existing residences, as well as the southward view from the apartment building, and does not provide a gradual transition from the two-story building on the north to the one-story scale of the surrounding properties.

B. That the proposed project reflects the scale of the neighborhood in which it is proposed and that it does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from the foothill village setting.

Staff also finds it difficult to make this finding given that the revised design of the proposed residence still does not provide a gradual transition between that structure and the one-story neighboring residences. While the neighborhood includes a few two-story apartment buildings, the bulk and mass of the proposed residence still seems out of scale with the predominantly single-family residential character of the neighborhood, thereby detracting rather than contributing to the foothill village setting of Sierra Madre.

C. That the proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts.

As stated in Finding A above, staff is concerned that the proposed residence as designed would interfere with the views of the mountains and valley due to the bulk and mass of the elongated second story.

D. That the proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible

with other portions of the project, regardless of whether the same are publically visible.

The proposed residence as revised appears to detract from the overall Prairie style of architecture by including a second story front elevation that appears to loom over the front façade of the structure and looks disproportionately high compared to the first story.

- E. For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height pursuant to Section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible.

This finding is not applicable as the applicant is not seeking relief from development standards.

- F. For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B), or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, of:

1. Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, generic, or “cookie-cutter” plans;
2. Where applicable, adaptive reuse or other preservation and restoration of historic structures;
3. Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected and specimen trees;
4. Siting of structures in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;
5. High quality architectural details and building materials compatible with the overall project design; and
6. Sustainable building and landscaping practices, especially water-saving features.

This finding is not applicable as the conditional use permit is not requested to exceed the thresholds established in Sections 17.20.025.C or 17.30.040.B.

ENVIRONMENTAL

The proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 Existing Facilities (1)(1) of the California Environmental Quality Act (CEQA) as it involves the removal of a single-family residence. The project also qualifies for a Class 3 Categorical Exemption, pursuant to Section 15303(a) New Construction or Conversion of Small Structures of CEQA as it involves the construction of a new single-family residence.

ALTERNATIVES

The Planning Commission can:

1. Approve the application for Conditional Use Permit 15-26, and direct staff to draft a Resolution for the Commission's consideration at the next meeting.
2. Deny the application for Conditional Use Permit 15-26, and direct staff to draft a Resolution for the Commission's consideration at the next meeting, specifying those findings that cannot be made.
3. Continue the subject project, and provide the applicant with direction.

RECOMMENDATION

Staff recommends that the Planning Commission continues CUP 15-26 to allow the applicant to address design issues concerning bulk and mass, compatibility, views and location of the south property line before returning to the Commission for further consideration.

Prepared By:



Leticia Cardoso
Planning Manager

Attachments:

1. Exhibit A: Revised Site Plan
2. Exhibit B: List of Changes from Applicant

3. Exhibit C: Revised Neighborhood Floor Area Comparison
4. Exhibit D: Revised Street Elevation Comparison
5. Exhibit E: Front Yard Setback Comparison
6. Exhibit F: 1st and 2nd Stories in Relation to Adjacent Properties – Original & Revised Floor Plans
7. Exhibit G: Staff Report – April 7, 2016 Planning Commission meeting

EXHIBIT I

SMMC Section 12.20.070
("Duty of abutting land owners to cultivate
trees on public property")

12.20.070 - Duty of abutting land owners to cultivate trees on public property.

- A. All owners and persons having the possession or control of real property in the city shall properly cultivate, care for and maintain all trees now or hereafter planted or set out within any public street planting areas adjacent to that real property, subject to the requirements of this chapter.
- B. Responsibility for street tree maintenance under subsection (A) of this section includes:
1. Financial responsibility for damage or loss;
 2. On-going irrigation;
 3. Maintaining the right-of-way planting area free from weeds, vines, and debris, or uneven walking surfaces;
 4. Maintaining the right-of-way free of obstructions inimical to public safety;
 5. Keeping tree trunks and branches free from climbing vines;
 6. Maintaining understory planting and irrigation in a manner beneficial to the tree;
 7. Keeping trees trimmed so as to remove any foliage encroaching into the space above a street to a height of fourteen feet and above sidewalk areas to a height of eight feet.
- C. No person may place water-impermeable material, such as tar paper or plastic, over the root zone of a street tree or public tree, or use materials or chemicals that sterilize the soil within the root zone of a street tree or public tree unless expressly authorized to do so by the director.
- D. Notwithstanding [any] other provision of this chapter, persons owning or controlling any land within the city shall maintain any sewer lateral lines serving that land clear of tree root obstructions, whether from city-owned or privately-owned trees. Any application for a permit for the removal of a city-owned parkway tree or a privately-owned protected tree for any purpose, including but not limited to relieving the applicant's sewer lateral of maintenance difficulties may be approved only if subject to mitigation measures such as those described in Section 12.20.115 which call for replacement of the tree or payment of fees for offsite tree replacement.
- E. All owners and persons having the possession or control of real property in the city shall be responsible for the cost of removal and replacement of or substantial trimming of street trees when the property owner's (applicant) request for removal or substantial trimming is approved by the director and the cause for the removal has not been determined by the city arborist or director to be a hazard to the safety of the public or private property.
1. The applicant shall post a deposit equal to the estimated cost to remove and replace the subject tree. Any unused portion of the deposit shall be returned to the applicant upon completion of the removal and replacement of the subject tree.
 2. The director shall schedule the city's tree maintenance contractor to remove and replace the subject tree upon receipt of the deposit.
 3. The number of replacement trees required shall be as specified in the tree replacement matrix. Should the area from which the tree was removed be too small to accept the number of replacement trees so specified, or should the applicant be unwilling to accept a replacement tree, then replacement shall be in the form of payment of the cost of required planting(s) into the city's tree replacement fund.

(Ord. No. 1303, § 1, 2-11-14)

EXHIBIT J

State of California Streets and Highway
Code Sections 5610-5612

STREETS AND HIGHWAYS CODE

SECTION 5610-5612

5610. The owners of lots or portions of lots fronting on any portion of a public street or place when that street or place is improved or if and when the area between the property line of the adjacent property and the street line is maintained as a park or parking strip, shall maintain any sidewalk in such condition that the sidewalk will not endanger persons or property and maintain it in a condition which will not interfere with the public convenience in the use of those works or areas save and except as to those conditions created or maintained in, upon, along, or in connection with such sidewalk by any person other than the owner, under and by virtue of any permit or right granted to him by law or by the city authorities in charge thereof, and such persons shall be under a like duty in relation thereto.

5611. When any portion of the sidewalk is out of repair or pending reconstruction and in condition to endanger persons or property or in condition to interfere with the public convenience in the use of such sidewalk, the superintendent of streets shall notify the owner or person in possession of the property fronting on that portion of such sidewalk so out of repair, to repair the sidewalk.

5612. Notice to repair may be given by delivering a written notice personally to the owner or to the person in possession of the property facing upon the sidewalk so out of repair, or by mailing a postal card, postage prepaid, to the person in possession of such property, or to the owner thereof at his last known address as the same appears on the last equalized assessment rolls of such city or to the name and address of the person owning such property as shown in the records of the office of the clerk.